

## South Ayrshire Council

### Report by Director of Housing, Operations and Development to Cabinet of 23 April 2024

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**Subject: Heritage Proposals Submitted to the Council by  
Prestwick Civic Pride**

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#### 1. Purpose

1.1 The purpose of this report is to:

1.1.1 advise of the submissions made by Prestwick Civic Pride to the Council on a range of potential development projects on Prestwick Promenade and the Freemans Hall, Prestwick; and

1.1.2 agree that officers put these proposals out for public consultation so that the Council can have an initial understanding of the public's views on the proposals. The public consultation will require to make clear that these proposals are not the Council's, and the Council cannot, at this stage, endorse the proposals.

#### 2. Recommendation

2.1 **It is recommended that the Cabinet agrees to undertake a public consultation on the heritage proposals formed by Prestwick Civic Pride, as set out in Appendix 1 and 2 and seek initial views on the proposals. (The public consultation will make clear that the proposals have not been developed by the Council, nor have they followed statutory processes involved in a Council developed strategy, and therefore the Council cannot, at this stage, endorse or commit funding to the proposals.)**

#### 3. Background

3.1 Following grant funding from the Council to identify and take forward potential heritage proposals, Prestwick Civic Pride (PCP) have developed the following proposals:

- i) Signposting a heritage trail around Prestwick;
- ii) Reinstatement of a steeple at Freeman's Hall together with proposed changes of use of the hall and adjacent cottages;
- iii) Proposals to conserve the Salt Pans Houses in association with St Nicholas Golf Club; and
- iv) Improvements to Prestwick Seafront.

- 3.2 Following a public consultation and open day PCP commissioned the development of a map of Prestwick's built heritage. This analysis and mapping are set out in Appendix 1. With this information PCP have worked with property owners and have commissioned and arranged installation of heritage plaques to form a heritage trail around Prestwick.
- 3.3 PCP also commissioned a feasibility study to look at potential steeple designs for the Freeman's Hall and alternative uses and proposals for the Freeman's Hall and Cottage. These proposals are set out in Appendix 1. Three design options are indicated for a new steeple attached to the Freeman's Hall with one of the options being Stage 1 feasibility costed. Should the design proposals be taken forward then as the proposals are developed further then costs would require to be updated and refined The Freeman Hall proposals involve internal alterations to provide for a wider range of community use and external alterations to provide for landscaping and an extension to the Cottage to provide community space. These proposals have also been high level feasibility costed.
- 3.4 PCP have also commissioned a feasibility study for seafront and promenade enhancements of Prestwick. This study is set out in Appendix 2. The proposals involve options for redevelopment of the former Bathing Lake, improvements to promenade gateways at Links Road, Burgh Road, Grangemuir Road, proposals to improve paths, walls, signage and street furniture and an arts strategy.
- 3.5 All strategies that guide Council service activities and development projects require to undergo a range of diligence processes, some of which are statutory, including a Strategic Environmental Appraisal and Equalities Impact Assessment. In addition, in line with Financial Regulations, Council capital decisions require to be first considered by the Council's Capital Asset Management Group (CAMG) before they can be approved. The CAMG ensures that projects meet with Best Value requirements and are therefore able to satisfy the requirements of Audit Scotland regarding capital projects. It is important to note that these diligence processes not only verify the acceptability of a development project, but also iteratively inform the make-up of the project.
- 3.6 The Council budget setting for 24-25 approved capital for regeneration of Maybole, Troon and Prestwick of £2m for each town. A separate report on this agenda is recommending governance arrangements for these projects and is recommending that the regeneration projects be set within masterplan frameworks.
- 3.7 The proposals developed by PCP are set within strategic frameworks that have been informed by public consultations undertaken by PCP. Given that these strategies are not Council developed strategies and have not followed required diligence, the Council cannot endorse these strategies as a basis for informing the regeneration of Prestwick. However, the proposals can form an initial starting point for the Council in development of a Prestwick Masterplan. With proposals set within professionally developed feasibility plans, the proposals are well developed and the public feedback on the proposals could provide very valuable information to assist with understanding the community's views on how to develop their area. The Council Prestwick Masterplan would then be the subject of further public consultation.
- 3.8 In addition, the Freeman's Hall and much of the Prestwick promenade comprises Common Good property and land. Before making any decision to dispose or change the use of any Common Good property or land, the Council requires to carry out a public consultation under s104 of the Community Empowerment (Scotland) Act

2015. The Council must have regard to responses received to this consultation, in deciding whether to proceed, and must seek authority of the court for any proposed appropriation or disposal. In addition, if there were any proposals to appropriate or dispose of open spaces used for public recreation, there is a separate statutory requirement under the Town and Country Planning Act 1959 to notify the public, and consider any objections made in response before deciding whether to proceed. Should the Prestwick Masterplan involve proposals on Common Good land and property and/or open space then, depending on the nature of these, the appropriate consultations will require to be carried out as part of the overall process.

#### **4. Proposals**

- 4.1 To assist with the development of a masterplan for Prestwick, it is considered that there is benefit in consulting with the public on the PCP strategies set out in Appendices 1 and 2 and it is recommended that a public consultation is commenced on the proposals.
- 4.2 As the PCP strategies have not been informed by required diligence process, the public consultation requires to make clear that the Council has not endorsed these proposals. It is recommended that the basis of the public consultation is as an initial consultation which will assist in informing the development of a Council masterplan for Prestwick. A Council developed masterplan, following required due diligence, will then be the subject of a further public consultation.

#### **5. Legal and Procurement Implications**

- 5.1 There no direct legal or procurement implications arising from this report. The development of a subsequent Prestwick Masterplan will require to comply with a range of legal requirements, including provision of a Strategic Environmental Appraisal, Equalities Impact Assessment and Common Good and open space requirements. Legal advice will be provided as required.

#### **6. Financial Implications**

- 6.1 There are no direct financial implications arising form this report. Projects that are developed through the Prestwick Masterplan will require to be approved by the CAMG. Approved projects will be funded through the £2m Regeneration Fund for Prestwick.

#### **7. Human Resources Implications**

- 7.1 Not applicable.

#### **8. Risk**

##### ***8.1 Risk Implications of Adopting the Recommendations***

- 8.1.1 There is a risk that some or all of the projects set out in Appendices 1 and 2 do not fulfil diligence requirements. In such a scenario the community may have raised expectations on the deliverability of projects.

##### ***8.2 Risk Implications of Rejecting the Recommendations***

- 8.2.1 The studies set out in Appendices 1 and 2 have been professionally developed and have been the subject of consultation arranged by PCP.

Not taking these projects forward through the recommendations in this report would mean that these studies cannot be taken forward by the Council.

## 9. Equalities

- 9.1 The proposals in this report allow scrutiny of performance. The report does not involve proposals for policies, strategies, procedures, processes, financial decisions and activities (including service delivery), both new and at review, that affect the Council's communities and employees, therefore an equality impact assessment is not required.

## 10. Sustainable Development Implications

- 10.1 **Considering Strategic Environmental Assessment (SEA)** – An SEA has not been developed for this report. An SEA will be developed for a Prestwick Masterplan

## 11. Options Appraisal

- 11.1 An options appraisal has not been carried out in the preparation of this report. An options appraisal will be carried out on any capital projects set out in a Prestwick Masterplan.

## 12. Link to Council Plan

- 12.1 The matters referred to in this report contribute to Priority 1 of the Council Plan: Spaces and Places/ Play, Sport and Recreation (Outcome 2).

## 13. Results of Consultation

- 13.1 Public consultation feedback will be considered and reported back to Council on 10 October 2024.
- 13.2 Consultation has taken place with Councillor Martin Kilbride, Portfolio Holder for Buildings, Housing and Environment, and the contents of this report reflect any feedback provided.

## 14. Next Steps for Decision Tracking Purposes

- 14.1 If the recommendations above are approved by Members, the Director of Housing, Operations and Development will ensure that all necessary steps are taken to ensure full implementation of the decision within the following timescales, with the completion status reported to the Cabinet in the 'Council and Cabinet Decision Log' at each of its meetings until such time as the decision is fully implemented:

Implementation	Due date	Managed by
Commence public consultation on Appendices 1 and 2	29 April 2024	Assistant Director Communities

<b>Implementation</b>	<b>Due date</b>	<b>Managed by</b>
Report on outcome of public consultation and scope of a Prestwick Masterplan	10 October 2024	Assistant Director Communities

**Background Papers**    **Capital Programme 2024-25**

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**Date:**    **12 April 2024**

# Austin-Smith:Lord

Prestwick Seafront and Promenade Enhancement

FINAL DRAFT Consultation Report

19-01-24

# 01.0 Purpose of this Booklet

Austin-Smith:Lord were appointed by Prestwick Civic Pride Partnership in October 2023 to prepare a feasibility study for seafront and promenade enhancements at Prestwick.

The feasibility study considers which areas should be focused on and what possible enhancements could be made to selected areas, with the overall aim being to bring about general improvements to the environment of the seafront which would contribute to the further development of social, cultural and economic activities.

This study and the proposals aim to build on previous place plans, policy contexts, current and future investment plans in order to develop a set of related projects for future improvements.

The overall objective is to provide for a high amenity leisure space for local residents, visiting tourists and for other South Ayrshire citizens, as an integral part of a family of South Ayrshire seafront upgrades.

The anticipated outcomes for this work are;

- Increased economic activity in Prestwick and South Ayrshire
- A backdrop to support an improved annual planned Prestwick Events Calendar
- A contribution to enhance health and well-being through outdoor activity for the local community and general population
- A platform for a Prestwick Seafront Volunteer programme
- A high quality leisure destination

This booklet illustrates possible proposed themes for the purposes of consultation and canvassing opinion on the public's expectation for Prestwick seafront and promenade.

The booklet contains sketch ideas for improvements together with a series of questions.

Feedback obtained on the proposals will help to assist and inform how Prestwick Civic Pride Partnership and South Ayrshire Council could take forward plans for improvement for Prestwick Seafront.

It is anticipated that feedback will inform and provide the basis for further development of proposals for a coherent package of capital investment projects over a period of time (2024-26).

The project extents, under consideration, extends from the car park north of Kidz Play to Grangemuir Road's junction with the Promenade.



Aerial View of the Study Area

## 01.1 Project Background

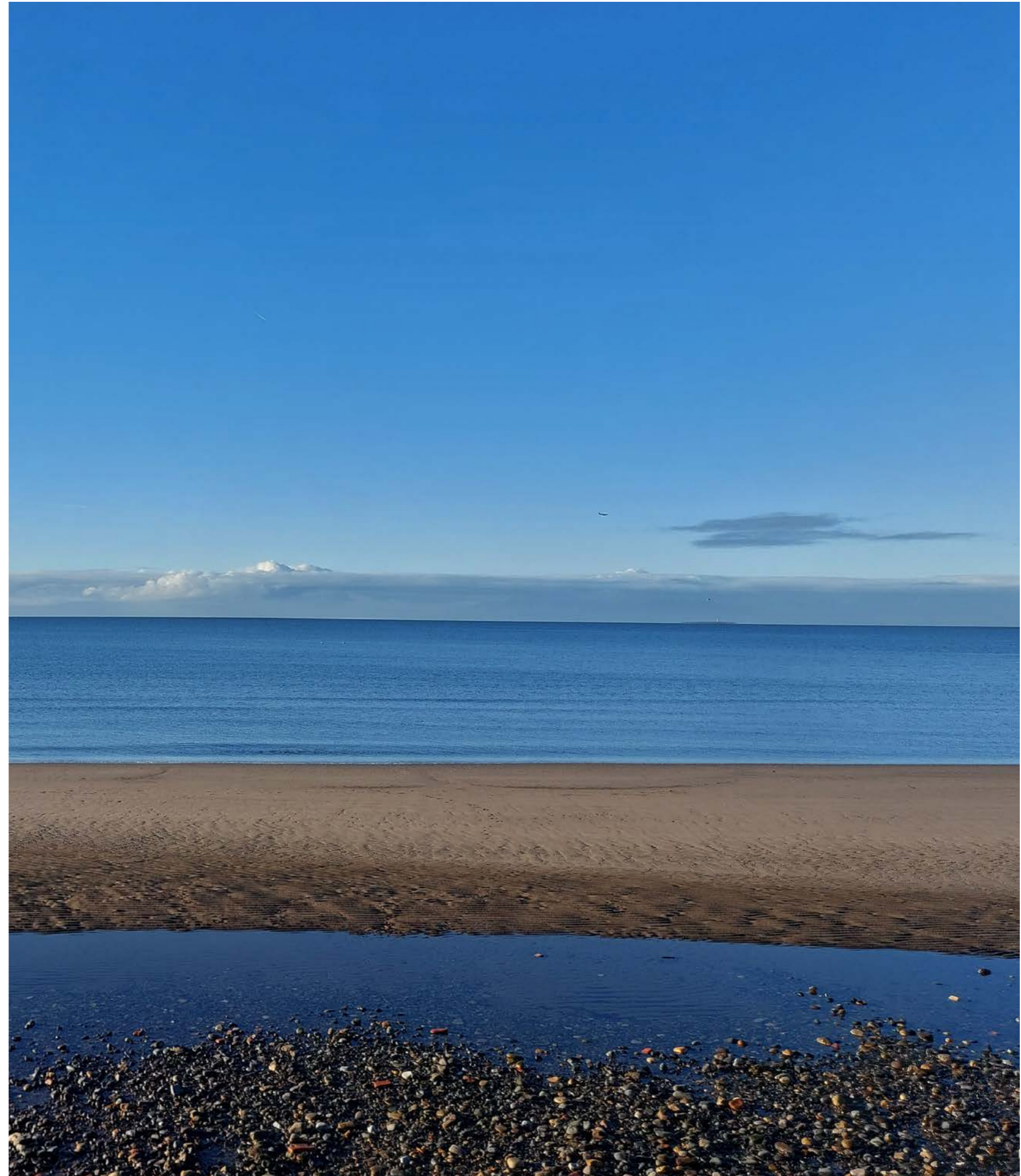
The project is founded on a range of previous activity and engagement over a number of years including

- Prestwick Beach reclamation campaign;
- Work undertaken by the Prestwick Prom Committee, in establishing the sea-front as a venue;
- Work conducted by research students at University of the West of Scotland on promoting the promenade as an events destination;
- Engagement and outcomes through the 2022 Prestwick Place Planning exercise ( Thriving Places);
- The Prestwick Town Centre Charrette and its Talk Prestwick exercise, 2016, using the Scottish Government's Place Standard Tool;
- Phase 1 of the Prestwick Shore front Enhancement Programme ( such as the play park works, seating, handrails, carpark surfacing).

It is envisaged that enhancements generated through this study will form Phases 2 and 3 of Prestwick Shore front Enhancement Programme.

This study also runs in parallel to concurrent work ongoing in Prestwick:

- to signpost a heritage trail around Prestwick;
- to reinstate the steeple at the Freeman's Hall (and propose longer term use of this and the adjacent cottage);
- to begin the process of conserving the Salt Pans Houses in association with St Nicholas Golf Club.





Prestwick Civic Pride Partnership are a Scottish charitable incorporated organisation (PCPP)

“Prestwick Civic Pride is about taking pride in being part of the Prestwick Community”

Prestwick Civic Pride Partnership are currently overseeing a number of projects in Prestwick, which aim to bring about improvements to the built environment, conserve and enhance the towns’ legacy. The key focus for this particular study is to enhance the seafront and promenade area as an important asset for the local and wider community.

#### The Site

The site is understood to be in Council ownership. The site comprises mostly greenspaces and car parking and is defined by the adjacent street pattern at Prestwick Seafront, and extends from Kidz Play to Prestwick St Nicholas Golf Club.

#### The Brief

The initial brief sought design scenarios for a programme of built-environment improvements such as a high-quality concept public art programme, future use consideration for the former Prestwick Bathing Lake site and further impetus to the Prestwick Beach reclamation programme all of which should support events. The project will contribute to the further development of South Ayrshire community-led place planning, transforming the seafront as a leisure space to mirror the successful Main Street retail and leisure offer. The aim is to enhance the general environment and contribute to the further development of social cultural and economic activities in Prestwick Town Centre.



Prestwick Seafront Promenade

# 02.0 Site Area



## 02.1 Site Location and Connections

Prestwick seafront benefits from excellent transport links.

Prestwick Town Train Station is located at a 7 minute walk from Prestwick Beach, along Links Road.

Route 7, of the National Cycle Network, a segment of the EuroVelo 1 Atlantic Coast Cycle Route, crosses the site.

In addition to the road and cycle networks, the project area has well defined pedestrian-friendly routes along the promenade.

The promenade also connects to a coastal path extending north and south of the promenade.

### Key



Prestwick Town Train Station



Roads



7 - National Cycle Network Route 7

EV1 - EuroVelo 1 Atlantic Coast Cycle Route



Coastal Path connecting to promenade and cycle route



## 02.3 Amenities

Prestwick seafront benefits from several amenities, in addition to the beach and open space.

1. Recreational Facilities:
  - Prestwick Golf Club: Offering a prestigious golfing experience within a scenic setting.
  - Prestwick St. Nicholas Golf Club: A golf club contributing to the region's golfing heritage.
2. Natural Attractions:
  - Prestwick Beach.
3. Play and Leisure Spaces:
  - Kidz Play Children's Amusement Centre.
  - Prestwick Playground.
4. Promenades and Waterfronts:
  - Prestwick Promenade.
5. Water-based Activities:
  - Prestwick Sailing Club.
6. Historical and Cultural Landmarks:
  - Prestwick Promenade (Salt Pans).



## 02.4 Heritage

Location Plan of Historic Buildings of note.

1. The Mercat Cross
2. Old Post Office
3. 18-22 The Cross
4. Alexander Hutchison's House
5. 8 & 14 The Cross
6. Old Burgh Chambers (Freeman's Hall)
7. 5 & 7 The Cross
8. The Red Lion
9. 21-37 Main Street
10. Prestwick Sundial
11. Prestwick War Memorial
12. Former Bank at The Cross
13. John Keppie's House at 4 Station Road
14. 6 Station Road
15. Prestwick Town Railway Station & Waiting Room
16. Prestwick Golf Club
17. Greystones, 25 Links Road
18. Polish War Memorial
19. Prestwick St Nicholas Golf Club
20. Salt Pan Houses
21. Kingcase, Bruce's Well and the Ruins of St Ninians Hospital
22. The Oval Clubhouse at St Ninians
23. St Nicholas Parish Church
24. The Broadway Cinema
25. Prestwick South Parish Church
26. Prestwick Community Education Centre
27. Monkton and Prestwick North Parish Church
28. St Nicholas' Church and Graveyard
29. St Cuthbert's Parish Church
30. Shaw Monument



Information taken from Prestwick Heritage: Freeman's Hall & Cottage, Stage 2 Report by O'DonnellBrown, Nov 23.

Location Plan

# 02.5 Photographic Survey of Site



1 - Former Bathing Lake



2 - Entrance from Links Road



3 - View from Links Road



4 - View along Promenade



5 - Promenade West of Burgh Road

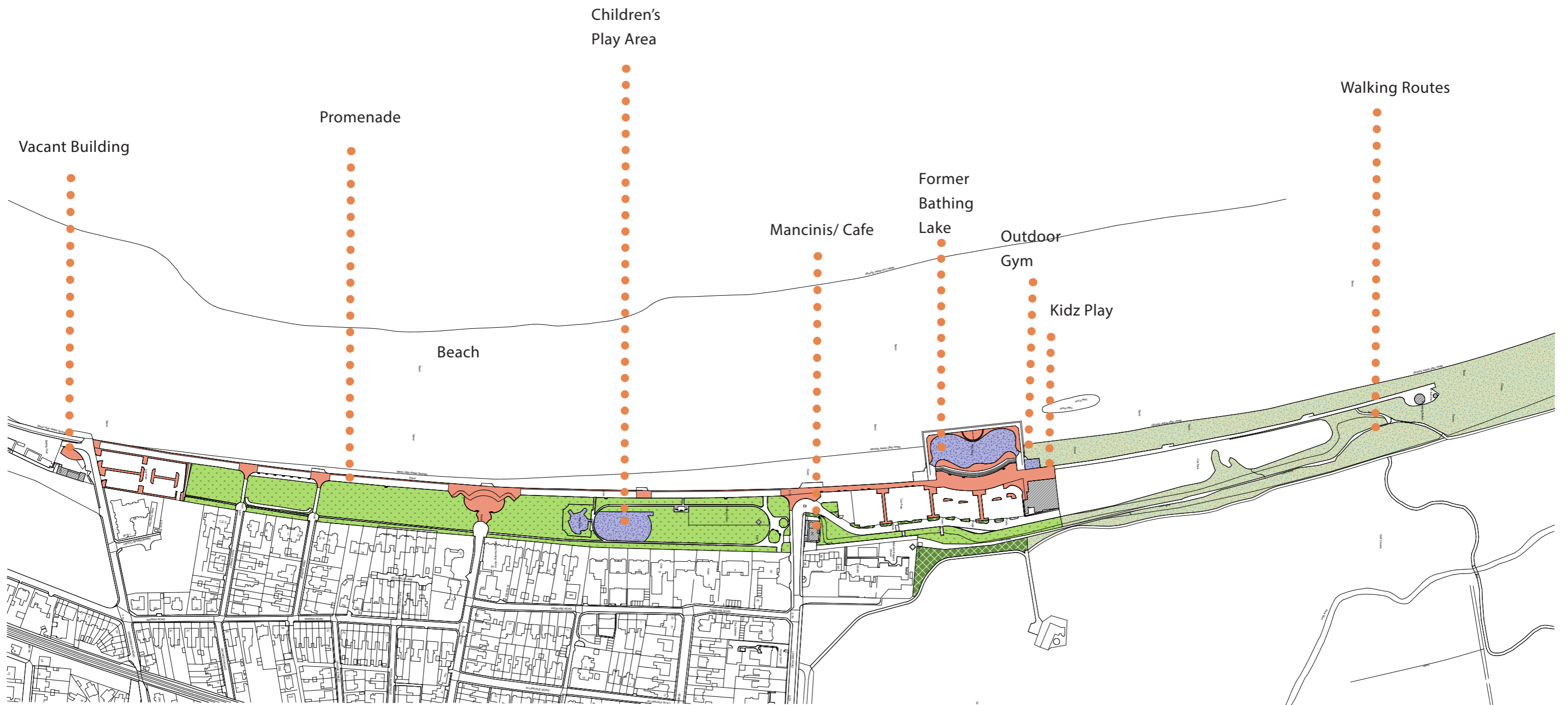


6- Entrance from Grangemuir Road



Prestwick Seafront - Photograph Location Plan

# 02.6 Site Plan as Existing



# 03.0 Potential Development Themes

Several locations and themes have been identified as optional areas for improvement. They include the Former Bathing Lake, Arrival Points to the Promenade, and the Central Activity Area. In addition art or a series of art interventions has been proposed as a further theme for the promenade.



Aerial photograph (Google Earth Pro credit)

Aerial View of the Seafront with location of possible development themes identified



# 03.1 Theme 1 - Redevelopment of the Former Bathing Lake

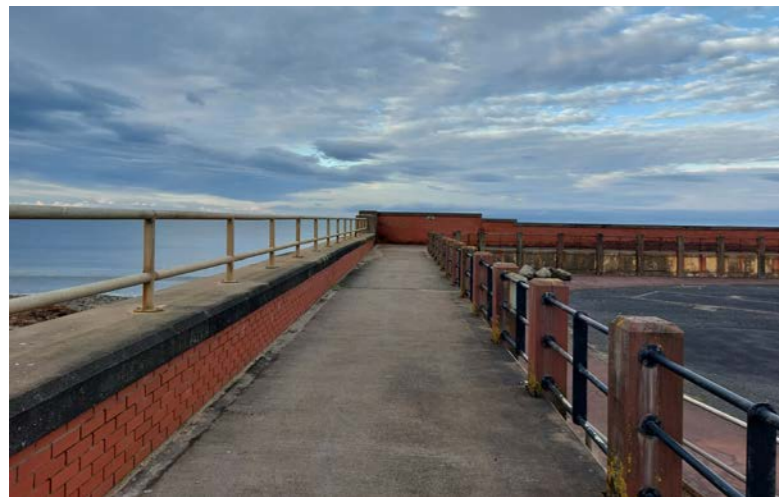
The Olympic-standard Prestwick Bathing Lake, the largest swimming pool north of the border, was opened in 1931. It was a popular attraction which could accommodate 1,200 bathers and 3,000 spectators. However, a number of factors such as overseas holidays and the opening of an indoor pool in Ayr, saw the closure of the Bathing Lake in 1972.

The Bathing Lake was in filled with hard standing.

The in filled area hosted play equipment for a period of time, which has subsequently been removed.

The area is in a poor state of repair.

This study looks at whether this area can be re purposed and can contribute positively to the seafront area and Prestwick Town Centre.



Prestwick Bathing Lake - Current Condition

Former Bathing Lake



Location of Former Bathing Lake



Prestwick Bathing Lake

# 03.1 Theme 1 - Redevelopment of the Former Bathing Lake - Option 1

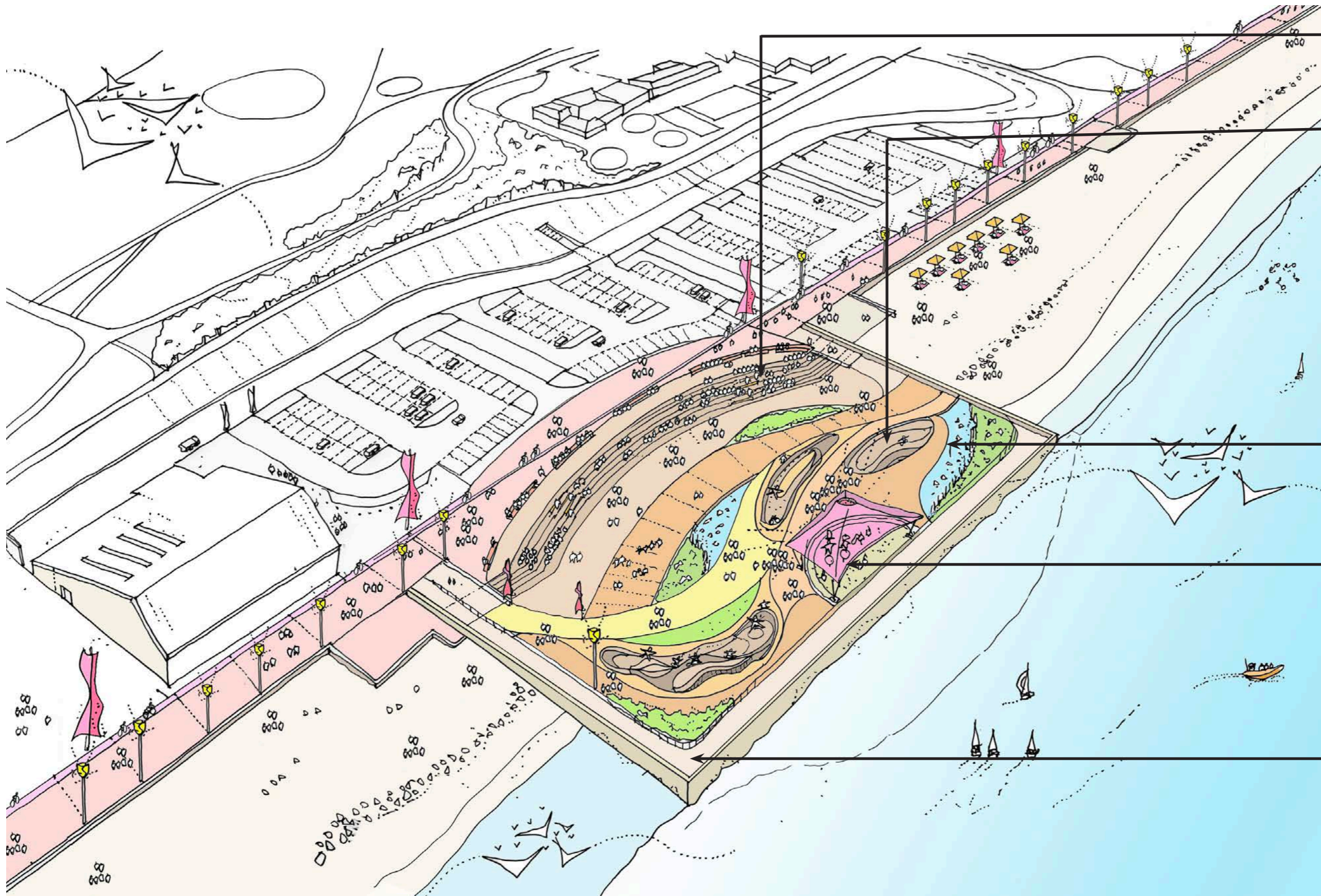
## Concept Proposal

This option proposes to redevelop the former bathing lake into a space for play, activity and gathering. The proposals include resurfacing the space to introduce walkways, contours and pattern in addition to areas to sit, creating an activity and social space. The space could accommodate play such as scootering, wheeling or roller skating within zones creating mini skate parks. The existing stage area will be upgraded with infrastructure introduced in order that a canopy or structure can be erected to facilitate events and or performances.



# 03.1 Theme 1 - Redevelopment of the Former Bathing Lake - Option 1

## Sketch of Concept Proposal



Steps reformed to provide stepped access plus areas for terraced seating.

Contoured areas with landforms to create informal mini skate parks with ramps, rails and landforms.

Shallow pools with stepping stones/ SUDS/ drainage

Existing stage repaired. Infrastructure installed for temporary tensile structure to be used at events

Walls repaired and guardrails upgraded.

# 03.1 Theme 1 - Redevelopment of the Former Bathing Lake - Option 1

## Precedent Images



Exchange Square, Manchester photo by by Norbert Blech



Copacabana Beach Promenade, Rio de Janeiro, Brazil, by Burle Marx



© Iwan Baan - Superkilen, Copenhagen



© Carve

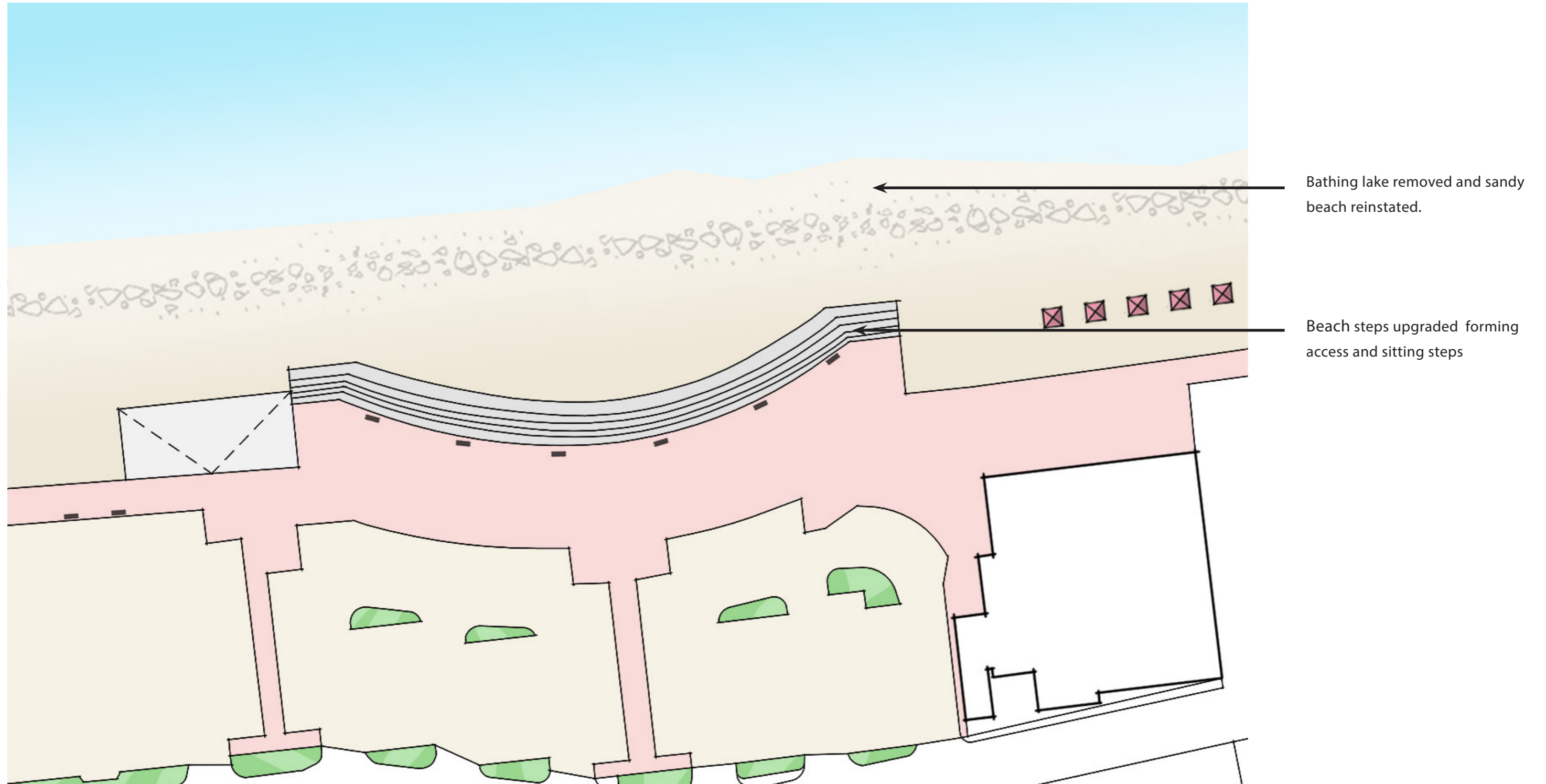


By WERK, Denmark -Photography: Wichmann+Bendtsen

## 03.1 Theme 1 -Redevelopment of the Former Bathing Lake - Option 2

### Concept Proposal

This option proposes to remove the bathing lake and associated walls and infrastructure and reinstate a sandy stretch of beach at this point. Beach steps will form a feature and an intermediate link to the water front with informal areas to sit.



Bathing lake removed and sandy beach reinstated.

Beach steps upgraded forming access and sitting steps

# 03.1 Theme 1 - Redevelopment of the Former Bathing Lake - Option 2

## Precedent Images



Shenzhen's East Coast, East dike Dapeng by Felixx + KCAP

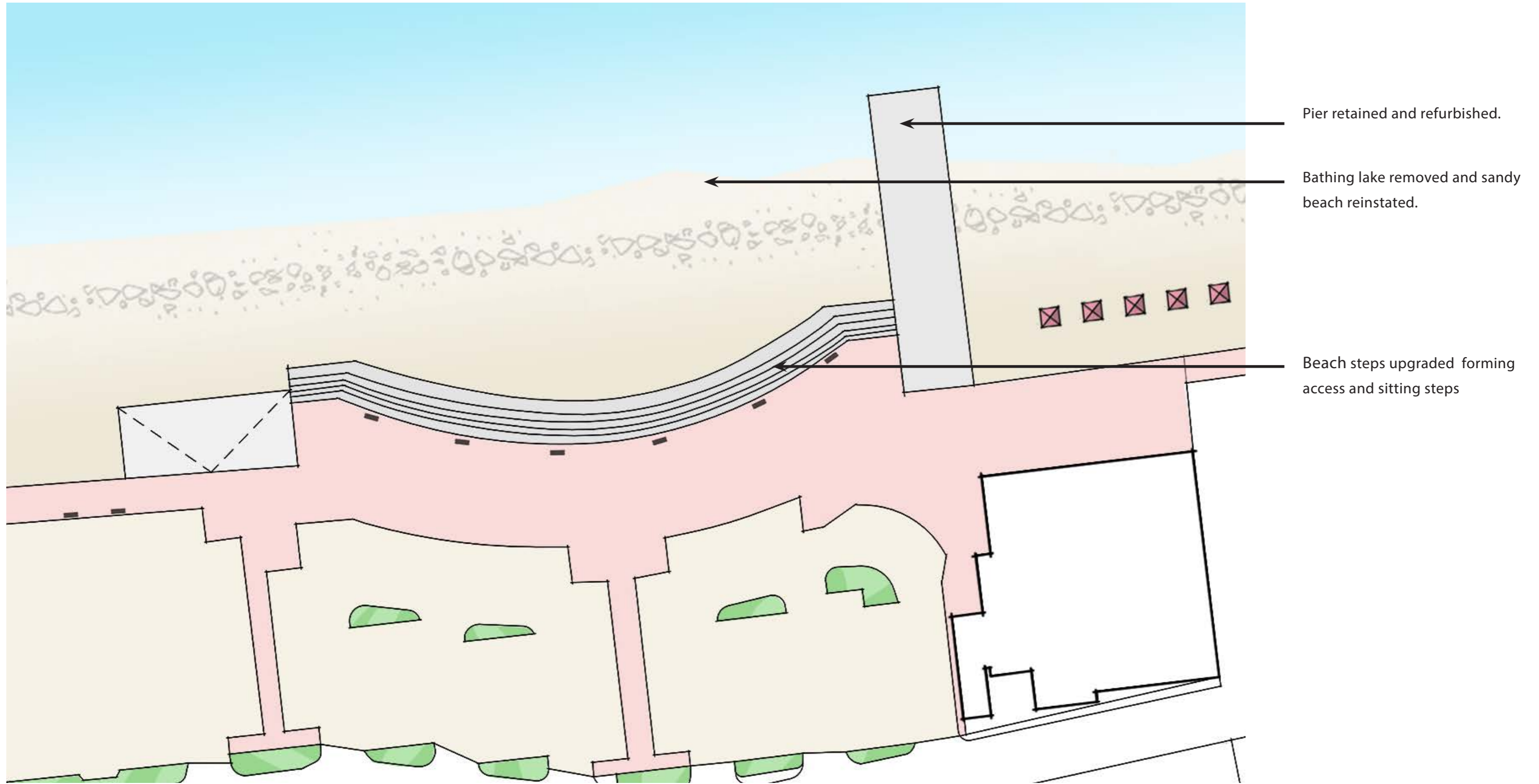


Shenzhen's East Coast, East dike Dapeng by Felixx + KCAP

# 03.1 Theme 1 - Redevelopment of the Former Bathing Lake - Option 3

## Concept Proposal

This option proposes to remove the bathing lake in order to reinstate a sandy stretch of beach. The northern arm of the bathing lake will either be retained or replaced, providing a pier structure. Beach steps provide access, a formal edge and sitting steps along the edge of the beach.



# 03.1 Theme 1 - Redevelopment of the Former Bathing Lake - Option 3

## Precedent Images



Westhaven Promenade - ASPECT Studios + LandLAB NZ © Johnny Davis



© Gjøde & Povlsgaard Arkitekter



# 03.2 Theme 2 - Improvements to Promenade Gateways

Theme 2:  
Promenade arrival  
points

## Links Road

Links Road is a key entrance point and gateway to the promenade for both pedestrians, cyclists and traffic. This provides a direct route to and from the train station.

The arrival points identified along the promenade have the opportunity to provide 3 key areas of improvement which provide spaces to stop and gather along the promenade with potential space to host events. These areas should be improved to provide step free access, using robust, simple materials plus rationalise clutter and provide a coherent look and feel to the promenade.



Promenade at Links Road - Current Condition

## 03.2 Theme 2 - Improvements to Promenade Gateways

### Links Road - Concept Proposal



Soft landscaped areas with undulating mounds with coastal planting and informal / natural play elements. Retaining walls form an edge to the soft landscape to provide informal seating.

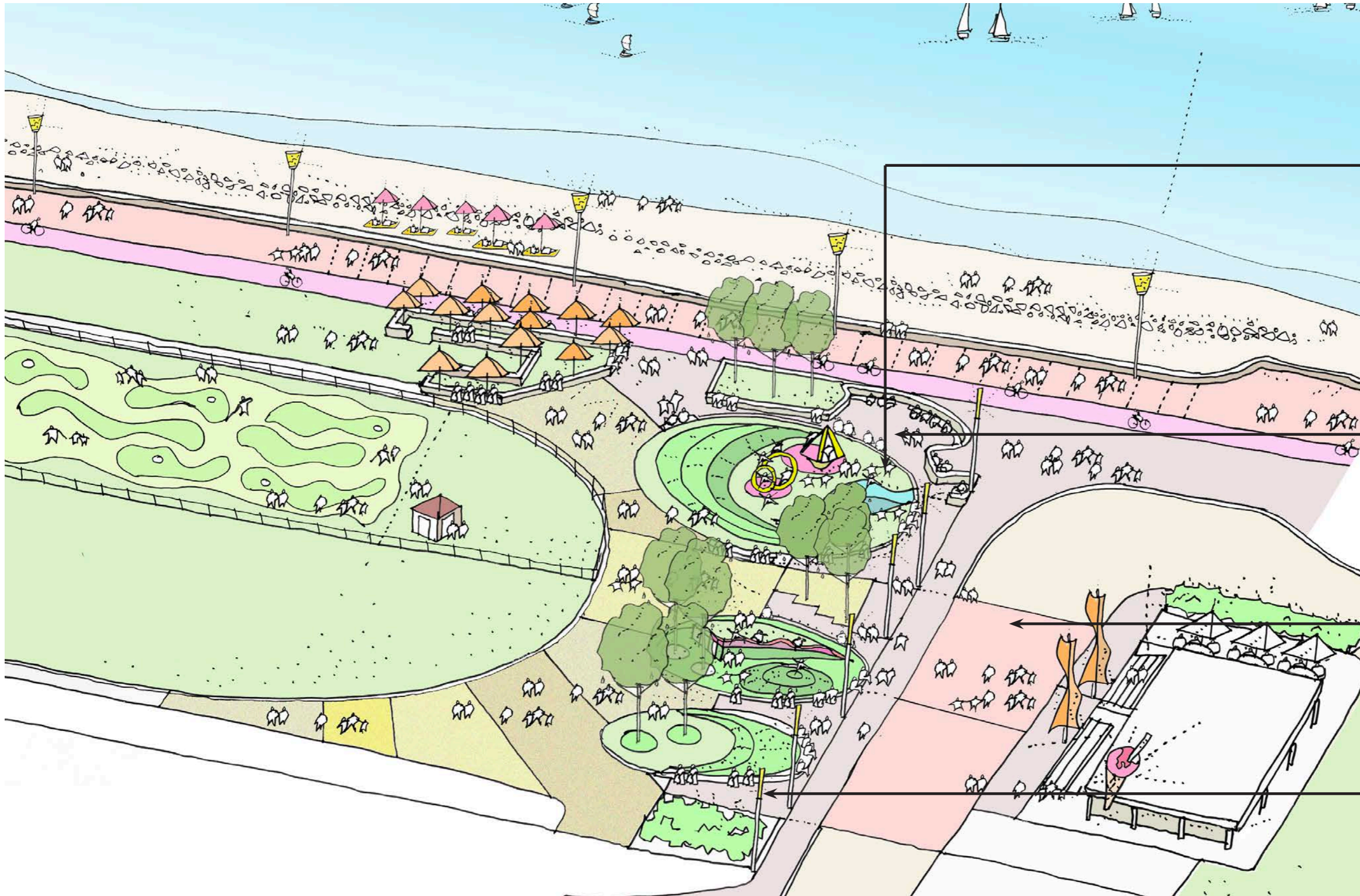
All steps removed and replaced with ramped accesses to provide step free access for all.

Enhanced pedestrian crossing point and footpath widened/road narrowed.

Space for gathering, sitting and playing or small scale events.

# 03.2 Theme 2 - Improvements to Promenade Gateways

## Links Road - Concept Proposals



Soft landscaped areas with undulating mounds with coastal planting and informal / natural play elements. Retaining walls bound the soft landscape to provide informal seating.

Space for gathering, sitting and playing or small scale events.

Enhanced pedestrian crossing point and footpath widened/road narrowed.

All steps removed and replaced with ramped accesses to provide step free access for all.

## 03.2 Theme 2 - Improvements to Promenade Gateways

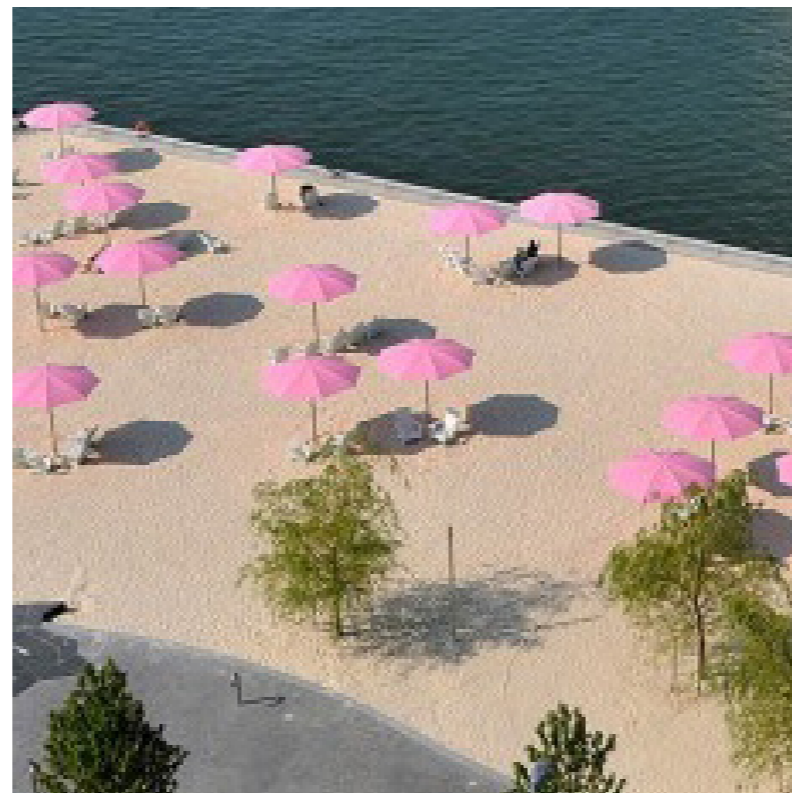
### Links Road Access - Precedent Images



Voss Activity Park - Østengen & Bergo AS



Voss Activity Park - Østengen & Bergo AS



Sugar Beach by Claude Cormier © Nicola Betts



Saltcoats - Deckchairs by WavePARTICLE

# 03.2 Theme 2 - Improvements to Promenade Gateways

## Burgh Road

Burgh Road meets the promenade generally at the central point of the promenade along this stretch of seafront. It is a pedestrian only access. The area is a wide expanse of paving with a mixture of seating and street furniture. As the second of the arrival points identified for improvement, this space could be developed as another key area along the promenade to stop and gather with features to add interest and variety along the promenade.



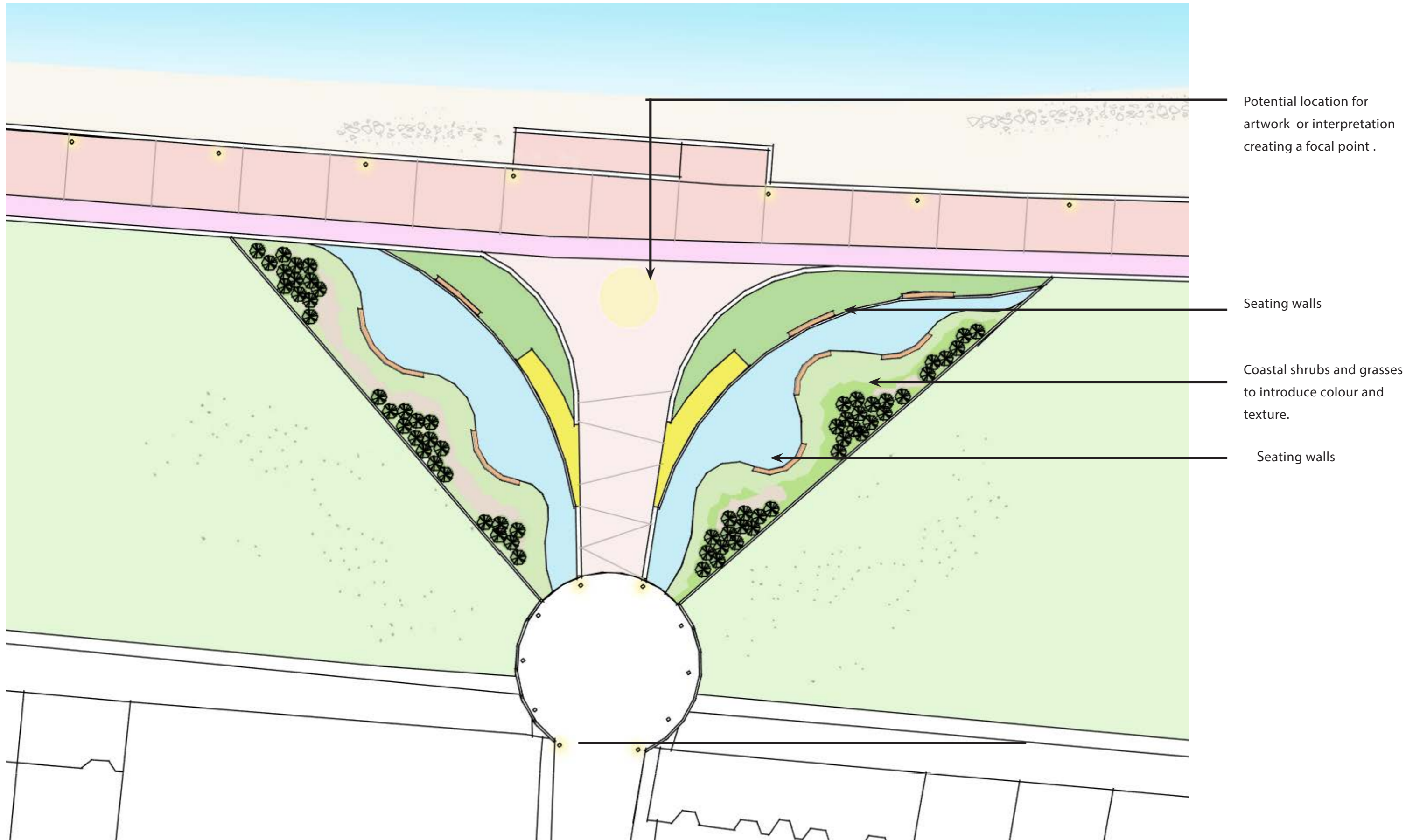
Promenade at Burgh Road - Current Condition

Theme 2:  
Burgh Road/  
Promenade arrival  
point



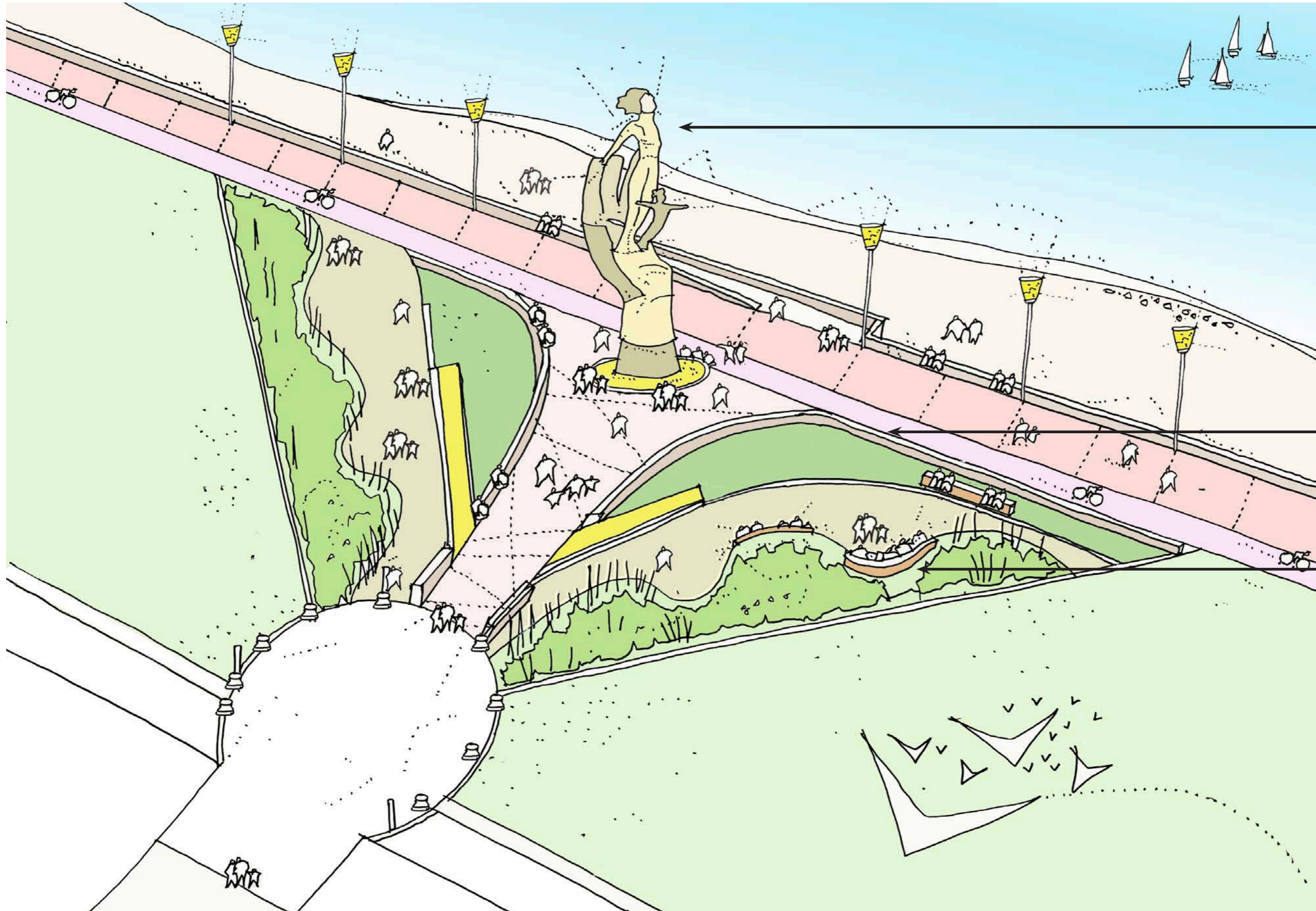
## 03.2 Theme 2 - Improvements to Promenade Gateways

### Burgh Road - Concept Proposal



## 03.2 Theme 2 - Improvements to Promenade Gateways

### Burgh Road - Sketch of Concept Proposal



Potential location for artwork or interpretation creating a focal point .

Seating walls

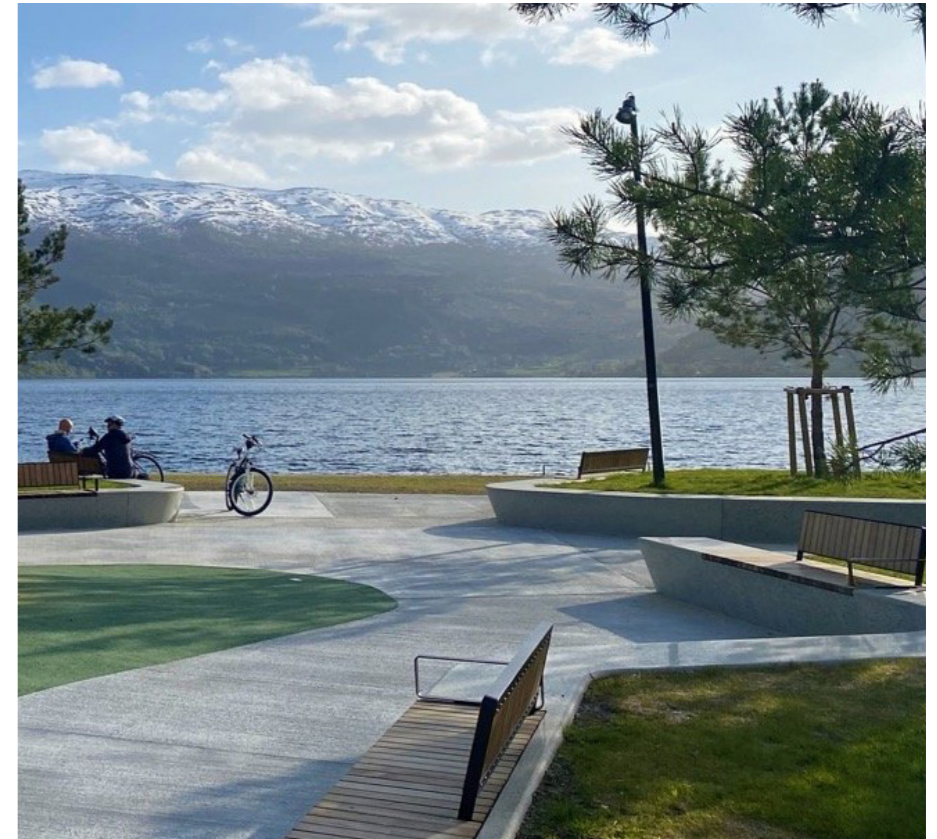
Coastal shrubs and grasses to introduce colour and texture

## 03.2 Theme 2 - Improvements to Promenade Gateways

### Burgh Road - Precedent Images



Tel Dor National Park by BO Landscape Architecture, Photo Yoav Peled



Voss Activity Park -Østengen & Bergo AS



Machair at Gallanach on the Isle of Coll © Lorne Gill.

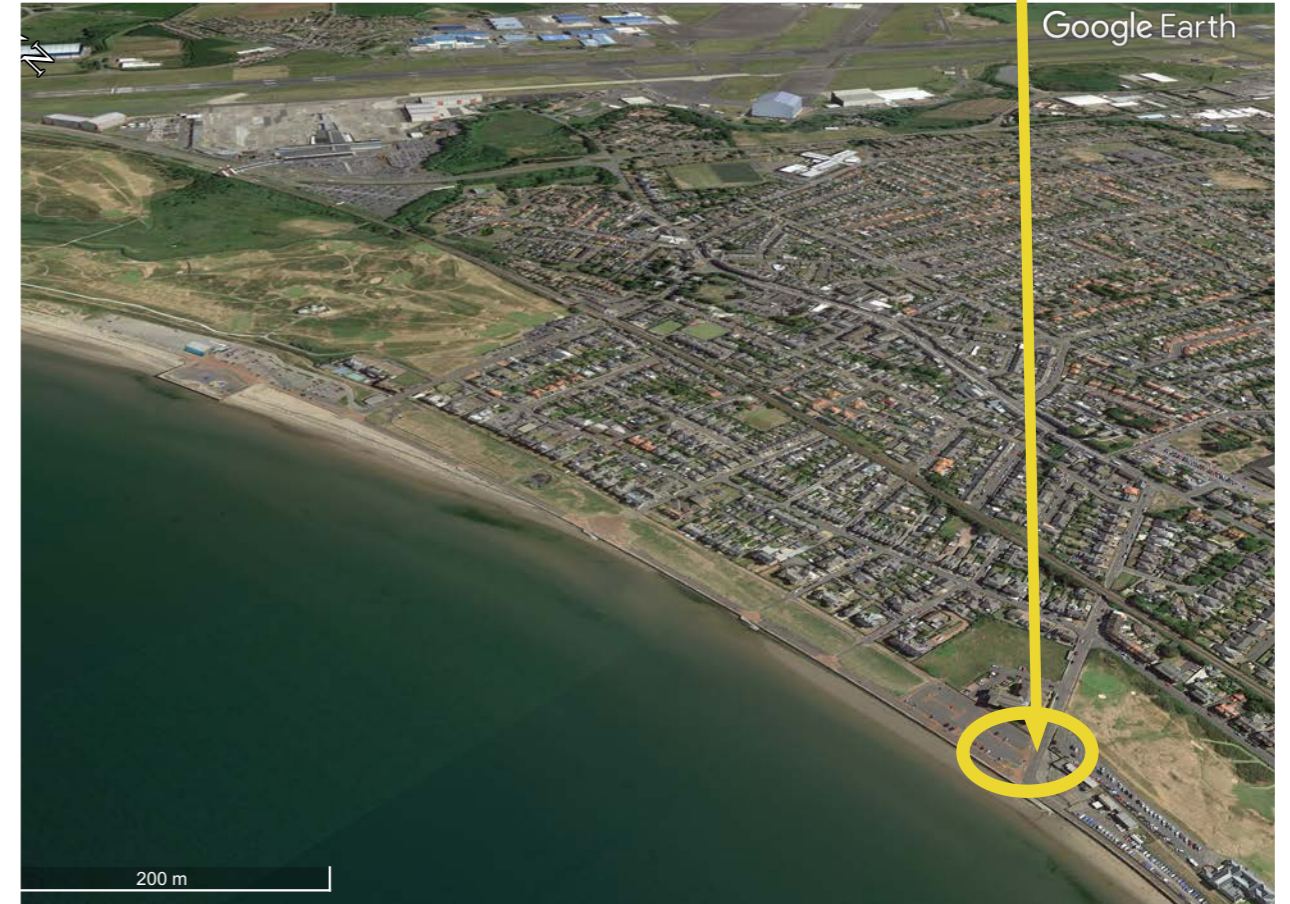


Theme 2:  
Grangemuir Road/  
Promenade arrival  
point

# 03.2 Theme 2 - Improvements to Promenade Gateways

## Grangemuir Road

Grangemuir Road meets the promenade at the southern end of the promenade. This provides vehicle and pedestrian access to the sailing club and a large car park. This entrance contains various elements of street furniture, railings and barriers which create a lot of clutter. This is the third arrival point which could be redeveloped, which bookends this stretch of the promenade. Improvements aim to create an attractive, welcoming arrival space for locals and visitors arriving from Grangemuir Road or indeed from the coastal path or cycle route, identifying Prestwick and the promenade as a destination.

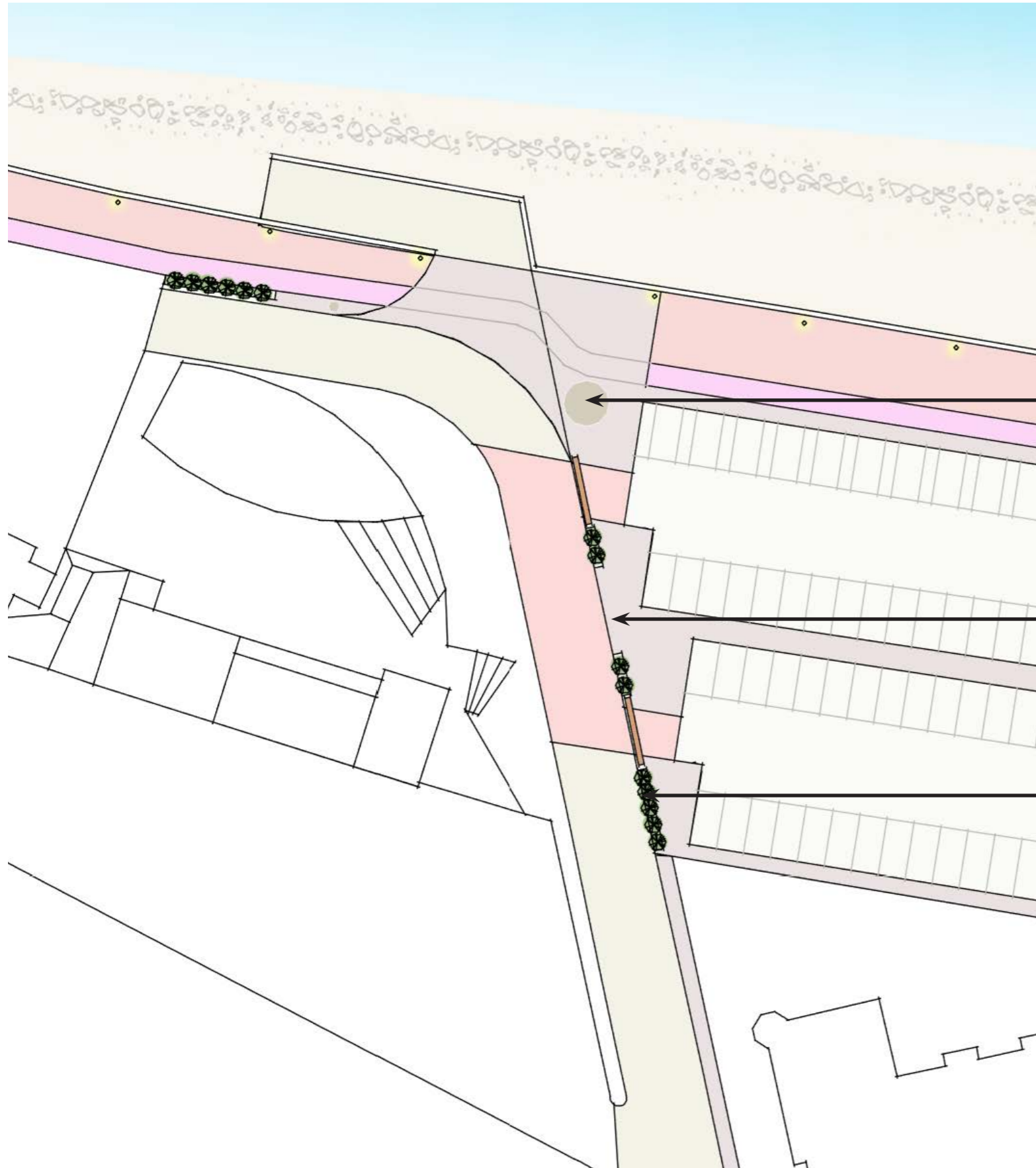


Promenade at Grangemuir Road - Current Condition



## 03.2 Theme 2 - Improvements to Promenade Gateways

### Grangemuir Road - Concept Proposals



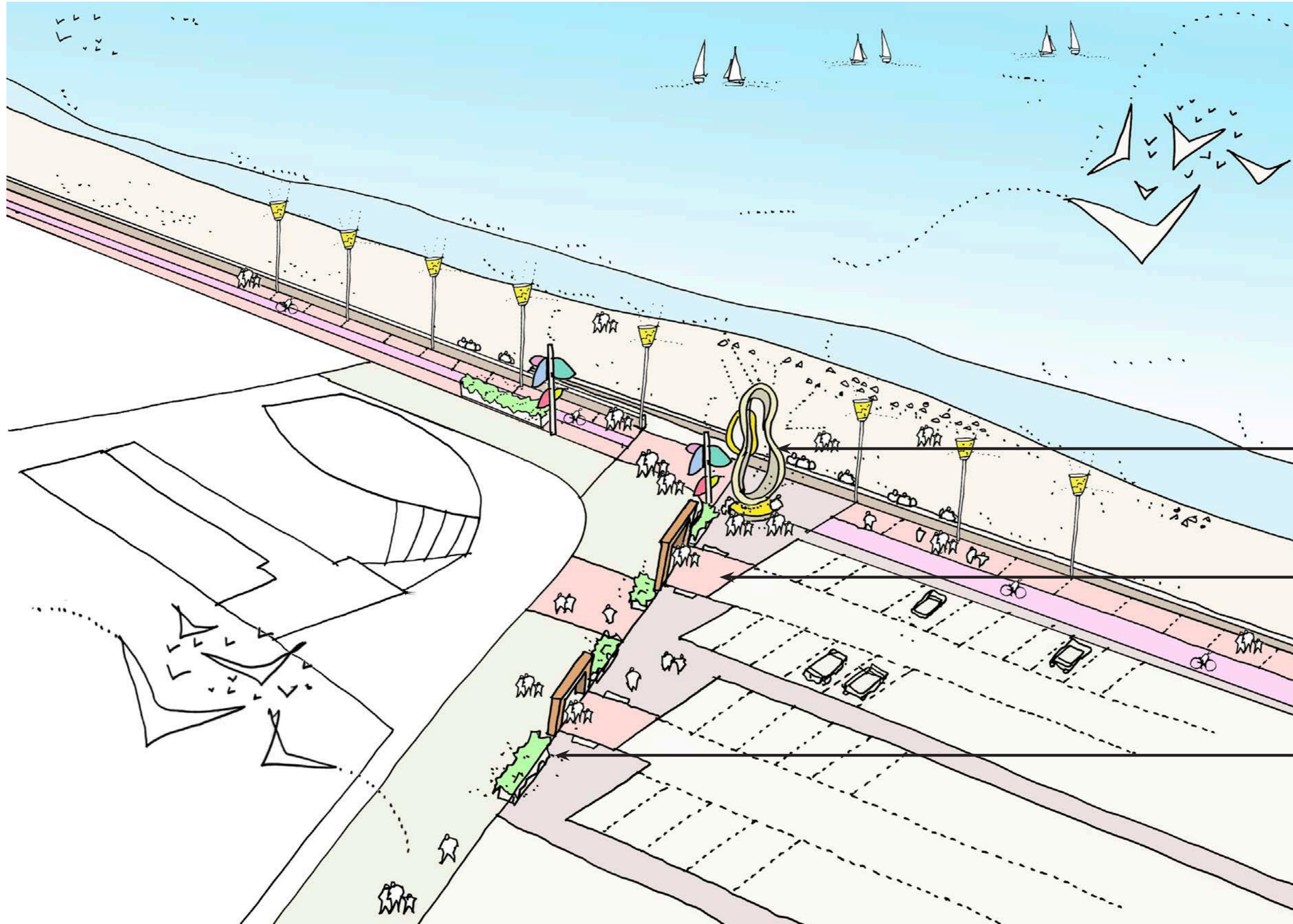
Potential location for artwork and focal point

Priority for pedestrian access such as removal of clutter and step free crossings

Introduction of planters to match Links Road/ Kidz play car park.

## 03.2 Theme 2 - Improvements to Promenade Gateways

### Grangemuir Road - Sketch of Concept Proposals



Potential location for artwork and focal point

Priority for pedestrian access such as removal of clutter and step free crossings

Introduction of planters to match Links Road/ Kidz play car park.

## 03.2 Theme 2 - Improvements to Promenade Gateways

### Grangemuir Road - Precedent Images



Tel Dor National Park by BO Landscape Architecture, Photo Yoav Peled



Voss Activity Park -Østengen & Bergo AS



Voss Activity Park -Østengen & Bergo AS

# 03.3 Theme 3 - Regenerate Core Activity Area

The central area has benefited from recent investment namely the new play area, benches and signage. However the area has a series of retaining walls, walling, fencing and signage and paths which would benefit from rationalisation and improvements.

On the basis that two gateway areas; Links Road and Burgh Road have been identified for improvement, this area in between would support these improvements and provide impact from this investment.

Theme 3:  
Activity Area:  
Play Area +  
Pitch and Put



Central Promenade Area - Current Condition

# 03.3 Theme 3 - Regenerate Core Activity Area

## Concept Proposals

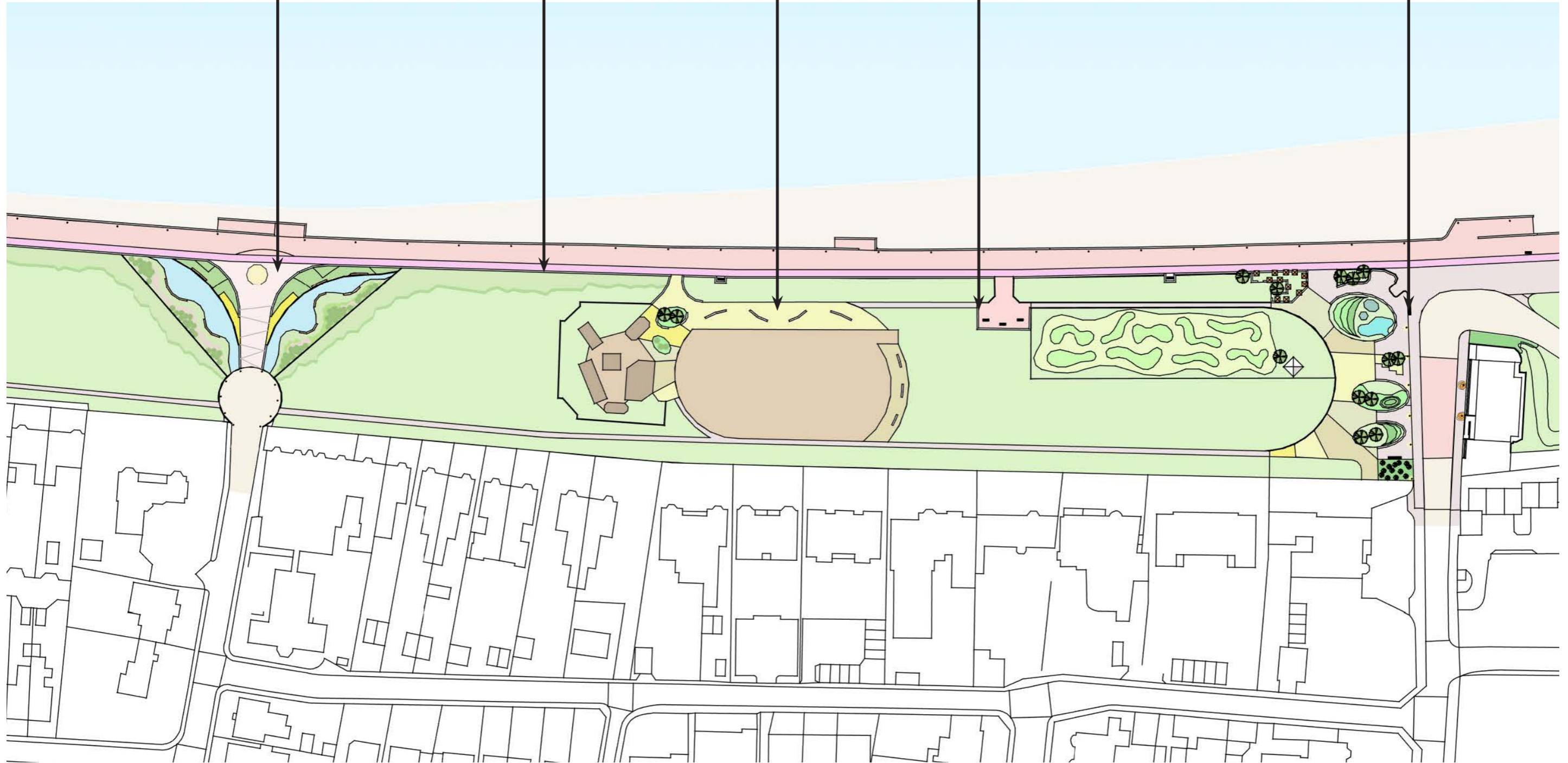
Gateway improvements at Burgh Road

New robust retaining walls, where required

Paths rationalised and step free access to play areas, with seating to new play area

Rationalisation of street furniture, signage, boundaries, walls and fencing to provide a simple palette of materials.

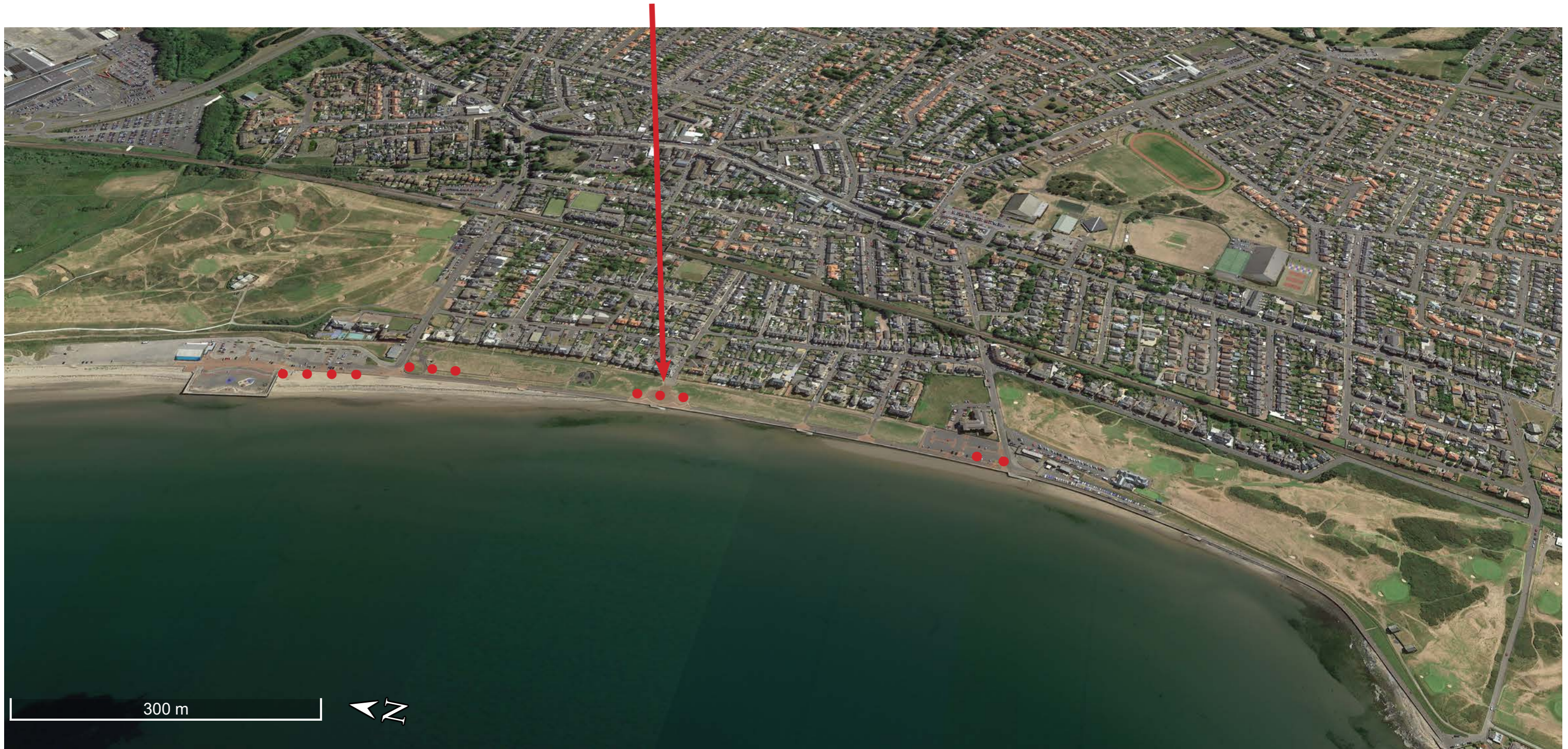
Gateway improvements at Links Road



## 03.4 Theme 4 - Promenade Art Strategy

This design theme proposes that there is an art strategy or arts and heritage strategy developed which is bespoke and unique to Prestwick seafront. This could possibly involve a sculpture creating a focal point or a series of art works located throughout the promenade, ranging in scale as appropriate. A collection of precedents have been collated and set out in the following pages for consideration. These precedents are simply examples of a range of work installed in other seafront locations.

Theme 4:  
Promenade Art Strategy,  
Indicative locations only.



# 03.4 Theme 4 - Promenade Art Strategy



Machair at Gallanach on the Isle of Coll © Lorne Gill.



Seaside Murals by Hula.



Mary's Shell, Cleveleys Beach by Stephen Broadbent



Bundoran Seafront Public Art Trail - 1000 Silver Limpets by Grace Wier, Photography by Paul McGuckin



Horizons by Costas Varostos



Bundoran Seafront Public Art Trail - Beach Towels by Locky Morris Photography by Paul McGuckin



## 03.4 Theme 4 -Promenade Art Strategy



Sight and Sound - Raymond Persinger, Laguna beach



Sea Bird Sculpture, Half Moon



Horizons by Costas Varostos



Repose, Gerard Stripling, Laguna Beach



Sea Point Promenade, South Africa

## 04.0 Have Your Say

1- Do you agree with proposals to provide improvements to the Prestwick Seafront area's public realm?

2 - A selection of themes or areas have been suggested for improvement. How would you rate these themes or areas in order of priority to the seafront?

Theme 1- The former bathing lake	-----
Theme 2- The arrival points to the promenade	-----
Theme 3 - The central activity area	-----
Theme 4 -Signage Strategy ? General Promenade improvements???	-----
Theme 5 -Promenade Art Strategy	-----

3- If you disagree with these proposed themes, what other suggestions would you be supportive of?

4- Please provide any other comments you may have on the concepts developed to date?

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# O'DonnellBrown

Prestwick Built Heritage Project  
Freeman's Hall & Cottage  
Stage 2 Report  
November 2023





# Preface



O'DonnellBrown have been appointed by Prestwick Civic Pride Partnership to develop the 'Prestwick Built Heritage Project', with a brief to:

1. Prestwick Heritage Map: A Catalogue mapping Prestwick's Built Heritage, initially developed ahead of 'Doors Open Day', but with the potential for wider use.
2. Steeple Design: develop proposals for a new steeple for the Freeman's Hall, developed with input from Strathclyde University Students and consultation with Prestwick community.
3. Freeman's Hall & Cottage: An assessment of the existing hall and adjacent bungalow, with proposals enabling South Ayrshire Council, Health and Social Care Partnership and the wider community to share use of the space, with a design focus on efficient use of space and flexibility within the layout.

This project has been developed in collaboration with:

Client	<b>Prestwick Civic Pride Partnership</b> <i>and in collaboration with South Ayrshire Council and Health &amp; Social Care Partnership</i>
Architect	<b>O'DonnellBrown</b>
Structural Engineer	<b>McColm Civil &amp; Structural Engineers</b>
Cost Consultant	<b>Brown + Wallace</b>
Strategy & Research Consultant	<b>Community Links Scotland</b>

Conservation Plans have also been carried out for the Freeman's Hall and Salt Pan Houses.



O'DonnellBrown



south ayrshire  
health & social care  
partnership



Community Links Scotland  
REGENERATION SERVICES

**mccolm**

**BW+**

south  
**AYRSHIRE**  
COUNCIL  
Comhairle Siorrachd Àir a Deas




## 1.1 Prestwick Built Heritage Catalogue

As part of the project brief, the 'Prestwick Built Heritage Map' has been developed, cataloguing and mapping Prestwick's Built Heritage. This map was initially developed ahead of 'Doors Open Day' held in September 2023, to encourage local residents to share stories, memories and local information about the buildings which have been included on the trail. The intention is for the Civic Pride Partnership and local school pupils to develop the trail with the potential to publish it as a small booklet made available to the local community.

# Prestwick Built Heritage Map

1




1. The Mercat Cross  
15<sup>th</sup> century, category A listed

2. Old Post Office  
1928, HM Office of Works

3. 18-22 The Cross  
late 19<sup>th</sup> century

4. Alexander Hutchison's House  
c. 1800

5. 8 & 14 The Cross  
c. 1800



6. Old Burgh Chambers (Freeman's Hall)  
1837, category B listed

7. 5 & 7 The Cross  
mid 19<sup>th</sup> century, category C listed

8. The Red Lion  
early 19<sup>th</sup> century

9. 21-37 Main Street  
1899, James A. Morris

10. Prestwick Sundial  
1998, Elspeth Bennie

11. Prestwick War Memorial  
1920, James A. Morris

12. Former Bank at The Cross

13. John Keppie's House at 4 Station Road  
1865

14. 6 Station Road  
1969, Clunie Rowell of Rowell & Anderson


15. Prestwick Town Railway Station & Waiting Room  
1903, category C listed

16. Prestwick Golf Club  
1887 [additions by James A. Morris & Hunter]

17. Greystones, 25 Links Road  
1898

18. Polish War Memorial

19. Prestwick St Nicholas Golf Club  
1892, John Mercer




20. Salt Pan Houses  
1767, category A listed

21. Kingcase, Bruce's Well and the Ruins of St Ninians Hospital  
14<sup>th</sup> century, category B listed

22. The Oval Clubhouse at St Ninians  
1878

23. St Nicholas Parish Church  
1908, Peter Macgregor Chalmers




24. The Broadway Cinema  
1935, category C listed, Alister G. MacDonald

25. Prestwick South Parish Church  
1884, category B listed, James A. Morris

26. Prestwick Community Education Centre  
1882, John Murdoch

27. Monkton and Prestwick North Parish Church  
1873, James Salmon & Son [additions by John Keppie of Honeyman & Keppie]



28. St Nicholas' Church and Graveyard  
12<sup>th</sup> century, scheduled monument & category B listing

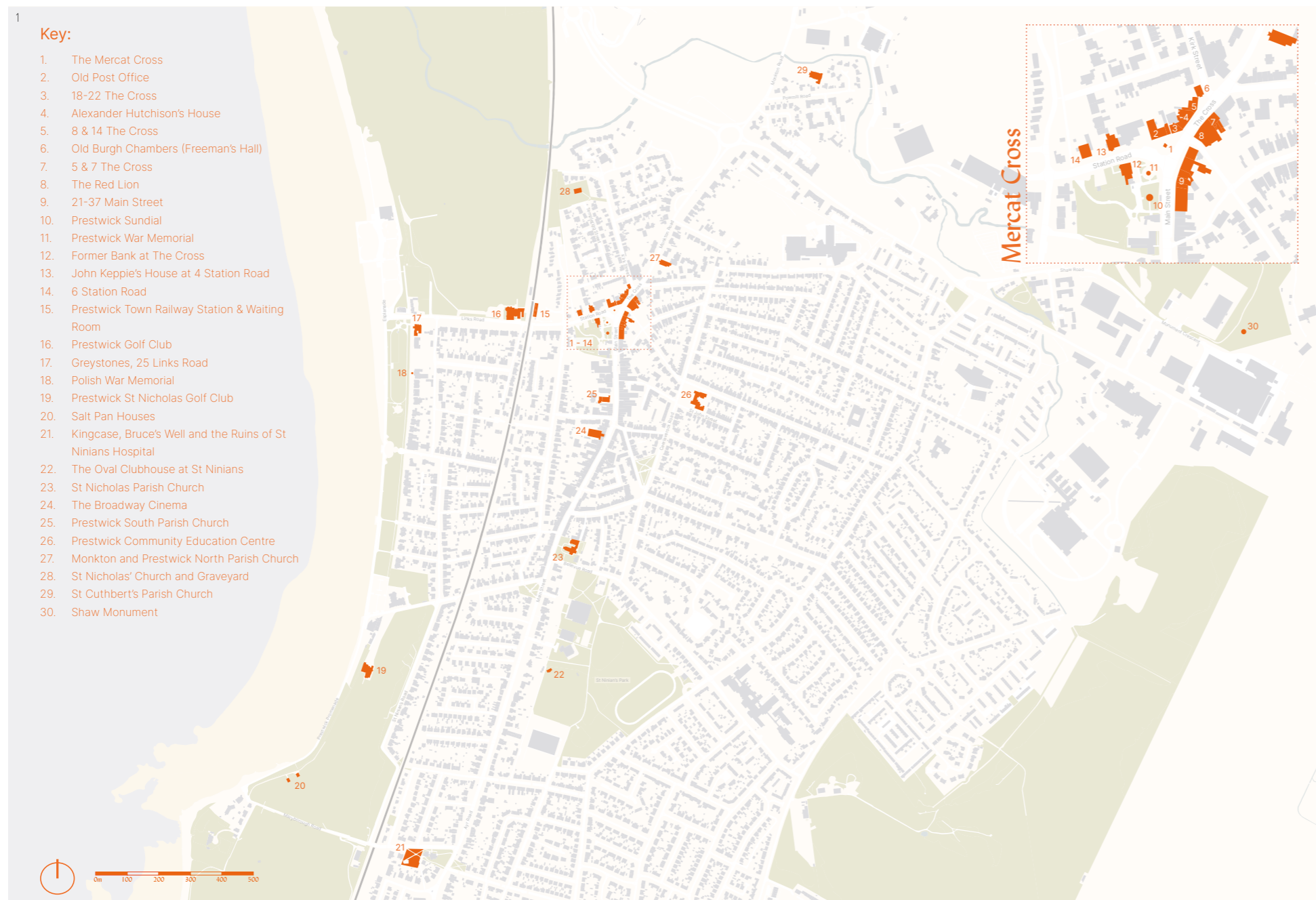
29. St Cuthbert's Parish Church  
1837, category B listed

30. Shaw Monument  
pre 1775, category B listed



## 1.2 Prestwick Built Heritage Map

1. Map locating the historic buildings



The adjacent map formed the centre-fold of the map, which locates the 30 historic buildings included in the catalogue. Not all buildings are listed but they are considered to have heritage significance within the town. The list is also not exhaustive and suggestions of additional sites with heritage value were identified during the consultation event.

The Prestwick Conservation Area covers a relatively small part of the town around the Mercat Cross and Boydfield Gardens extending west and up to Links Road. The Conservation Area was approved in 2016.



## 2.1 Freeman's Hall

1. Freeman's Hall in 1908
2. Old Travel Blog Photograph of the Town Hall, Sandy Stevenson, Tour Scotland
3. Proclamation of the accession of George VI, 15<sup>th</sup> December 1936



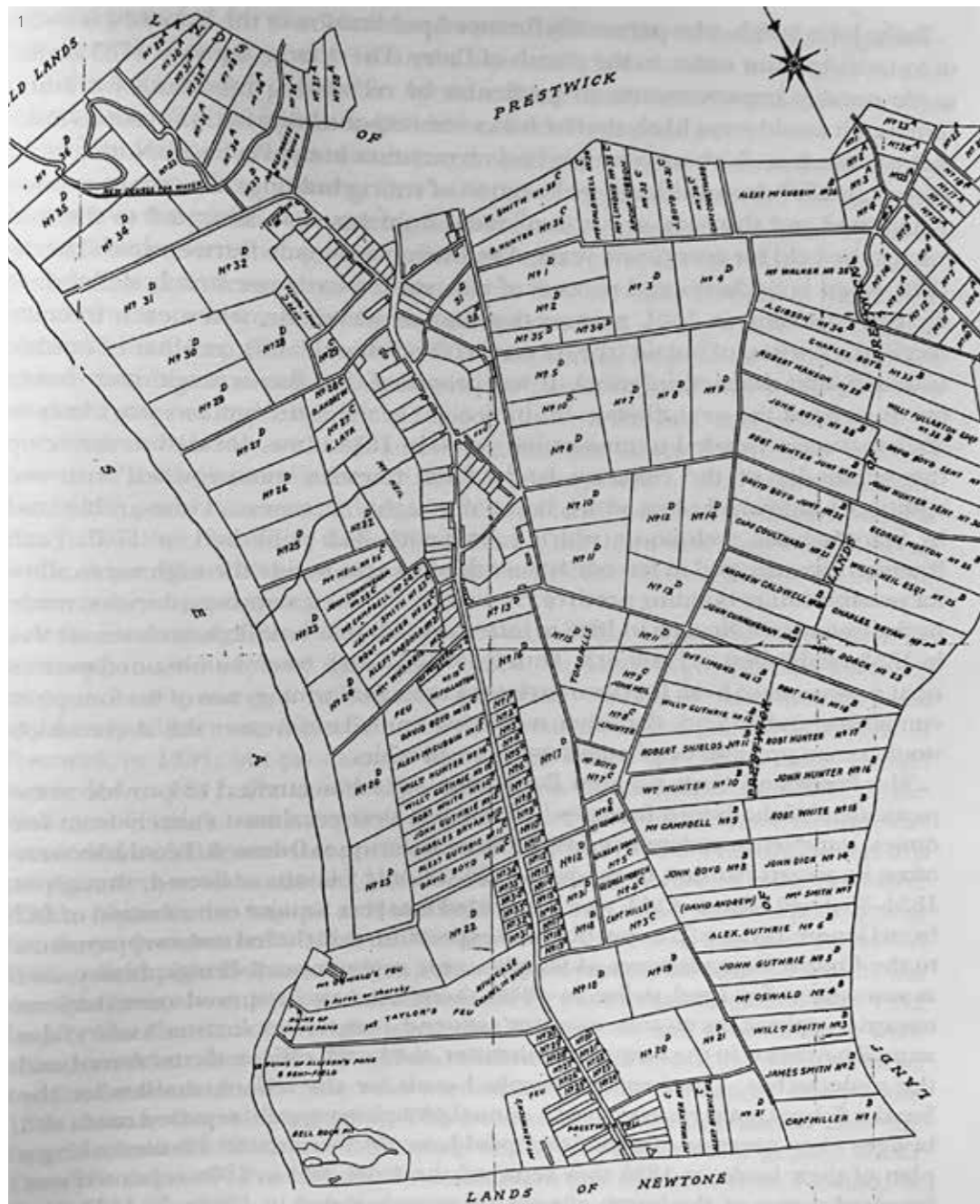
The Freeman's Hall is a municipal building positioned on the corner of Kirk Street and The Cross. Designed in the Gothic Revival style, the building has a symmetrical main frontage, with a central bay which projects forward, featured a porch with an arched doorway and an octagonal tower above. The tower is fenestrated with a lancet window on the first floor, and formally featured a stage above, with clock face, which was surmounted by a spire. The elevations to the side feature a series of arched windows to the ground and first floors.

Built 1844, the Freeman's Hall was commissioned by the Freemen of Prestwick and funded by the unexpected windfall following the sale of land west of the town for the opening of the Glasgow – Ayr train line in 1840. It is not possible to ascertain the exact financial arrangements between the Freemen and the railway, but it is thought that a lump sum was paid to the community to acquire the lands.

Following its completion, the building was initially used to host meetings for the Freemen of Prestwick, with its accommodation described in an 1844 Ayr Advertiser article as consisting of "a containment for delinquents, a schools-house, a council-room and a steeple". From 1857 onwards, the hall was primarily used as the Burgh School and, by 1879, 161 pupils attended, with this number rising to 200 in 1880 a year later. A school inspection in 1881 deemed the space unsuitable for use as a school and the Prestwick Public school was opened in 1882. In 1901 and 1905, the hall was used again as a school due to overcrowding, caused by the raising of school leaving age from 13 to 14 in 1902.

## 2.2 Freemen of Prestwick

1. 1814 Ownership Plan
2. Freemen of Prestwick, 1900
3. Crowds watch Macdonald Smith in the final Open to be played at the old Prestwick course, 1925
4. Plan of Prestwick Arable Lands and Peat Holes, 1780



The Freemen of Prestwick were landowners, undertaking the role of a local authority before a council as we now understand it was established. Documents describing the freemen's finances from 1824 indicate that their income was derived almost entirely from feu duties, rent, and money paid by those entering Prestwick as freemen.

The below plan of 1780 (4) shows the number of freemen in this year was fixed at 36, with the boundary of ownership extending to the coast by 1814, as visible in the adjacent map (1). This 1814 plan details the division of common lands, with each freeman obtaining two plots to supplement those of indale and outdale land already held.

From 1850, freemen possessed their lands as heritable property following the removal of legal restrictions, enabling them to dispose of land as they desired. This led to, in addition to the sale of land to introduce the Glasgow – Ayr train line in 1840, the sale of the land to the west of the town to build the golf courses.



## 2.3 Historic Development of Prestwick

1. Roy Lowlands, 1752-55
2. Ordnance Survey Great Britain County Series, 1840s-1880s (1857)
3. Ordnance Survey, 1892-1905 (1895)
4. Ordnance Survey National Grid, 1944-1972 (1958)
5. Map of Ayrshire, Andrew and Mostyn Armstrong (1775)



On the below map of Ayrshire (5) published in 1775 by Andrew and Mostyn Armstrong, Prestwick and nearby Monkton are visible as small communities, with Fairfield, Adamton and Ladykirk estates depicted. Other notable features at this time are sandhills of Prestwick not yet levelled, as well as turnpike roads and tolls, and the coastal road to Irvine.

The adjacent maps describe the historic development of Prestwick from 1752 - 1968, cropped to focus on the context in which the Freeman's Hall was constructed. The Roy Military Survey of Scotland depicts Prestwick, with the future position of the Freeman's Hall highlighted in red along the historic route into and through the town. The Freeman's Hall is first visible on the 1857 ordnance survey map and is listed as 'Burgh School', changing to 'Burgh Hall' by 1895. By 1958, the building is noted as 'District Office'.



## 2.4 Location within a Developing Prestwick

1. Roy Lowlands, 1752-55
2. Ordnance Survey Great Britain County Series, 1840s-1880s (1857)
3. Ordnance Survey, 1892-1905 (1895)
4. Ordnance Survey National Grid, 1944-1972 (1958)



1. Freeman's Hall in 1999, Canmore



## 2.5 Use during 20th Century

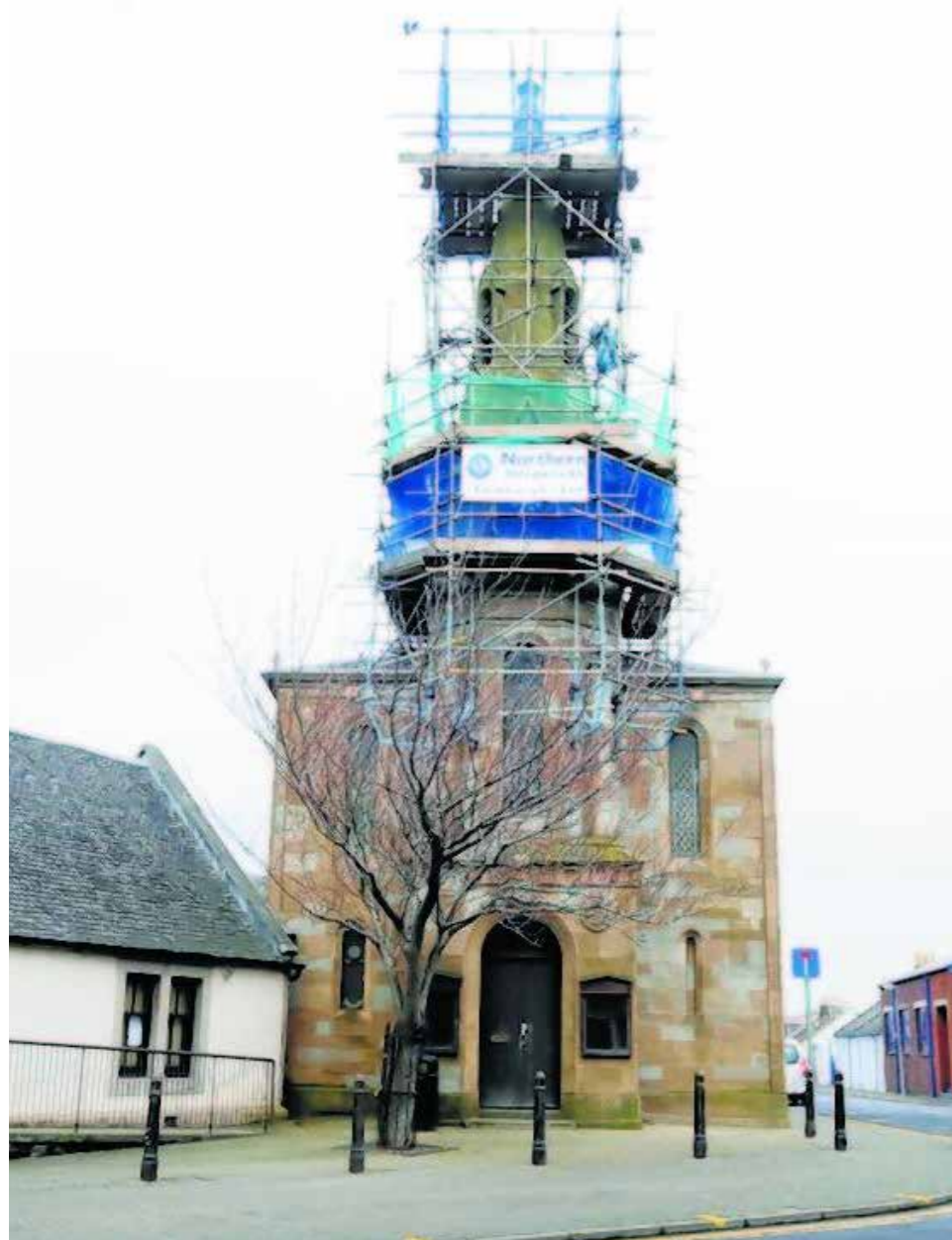
During the late 19th Century, the Burgh Council assumed the functions carried out by the Freemen, and the building became the Burgh Hall, which it remained until the late 1930s, when the Burgh Council established the municipal buildings in Links Road.

The Freeman's Hall was subsequently acquired by Ayrshire Council Council and became the local district office, as well as other various council administration uses throughout the 20th Century.

The building was listed in 1971 as Category B Listed.

1. Scaffolding around in the steeple during dismantlement, Ayr Advertiser. 30 May 2011
2. Proposal to replace steeple with laser beam, 2015
3. Freeman's Hall in 2023

1



## 2.6 Removal of Steeple

The Freeman's Hall steeple was deemed structurally unsafe and condemned, and subsequently taken down by the Council in 2011. The adjacent image (1) from 2011 shows the scaffolding installed ahead of its dismantling, with the bottom right (3) showing the hall in its current condition, without a steeple.

The top right image (2) shows a 2015 proposal to install a laser in the position of the former steeple, however this project was not realised.





### 3.1 Wider Site Overview

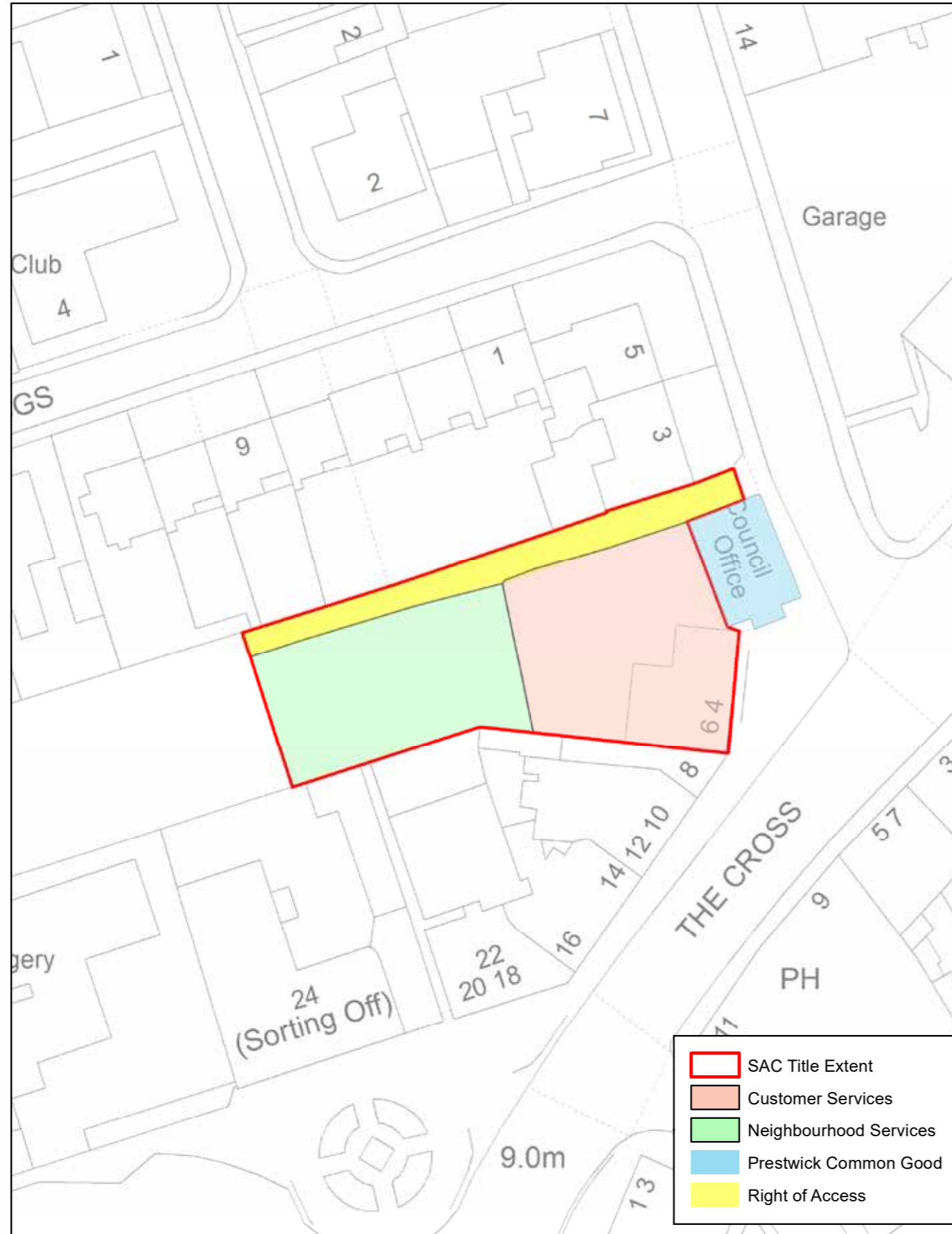
1. Site Location Plan



Located on The Cross, at the intersection of Main Street, Monkton Road and Kirk Street, the arrangement Freeman's Hall and cottage sit to create a public space to the front, from where both of these buildings are accessed.

The Freeman's Hall sits independently from the other buildings on the street, linked only to the cottage, whereas the cottage forms the end of a single storey terrace facing on to The Cross.

To the rear, there is an existing tarmacked area, predominately used for car parking. This is accessed via a lane on Kirk Street.



Car Park, Freeman's Hall, Prestwick.

Scale 1:500



This product includes mapping data licenced from Ordnance Survey with the permission of the Controller of Her Majesty's Stationery Office. © Crown copyright and/or database right 2023. All rights reserved. Licence number 100020765.

### 3.2 Site Ownership

The adjacent drawing describes the ownership of the Freeman's Hall, the cottage and external areas.

The Freeman's Hall, indicated in blue, falls under Prestwick Common Good, with the cottage and link corridor owned by South Ayrshire Council, and operated by Customer Services. South Ayrshire Council also have ownership of the external yard space to the rear, with Neighbourhood services operating the adjacent land to the west, and the lane, indicated in yellow, is a right of access required to be maintained.

Common good assets are the heritable (land and buildings) and moveable (paintings, furniture, etc.) property that belonged to the former Burghs of Scotland. Common Good assets are owned by the local authority, although administered separately from other local authority funds for accounting purposes.

### 3.3 Current Building Use

1. Recently refurbished office space in the Freeman's Hall
2. Recently refurbished office space in the Freeman's Hall
3. Original window in the Freeman's Hall
4. Customer Service Centre offices in the Cottage
5. Customer Service Centre reception in the Cottage
6. Customer Service Centre reception in the Cottage



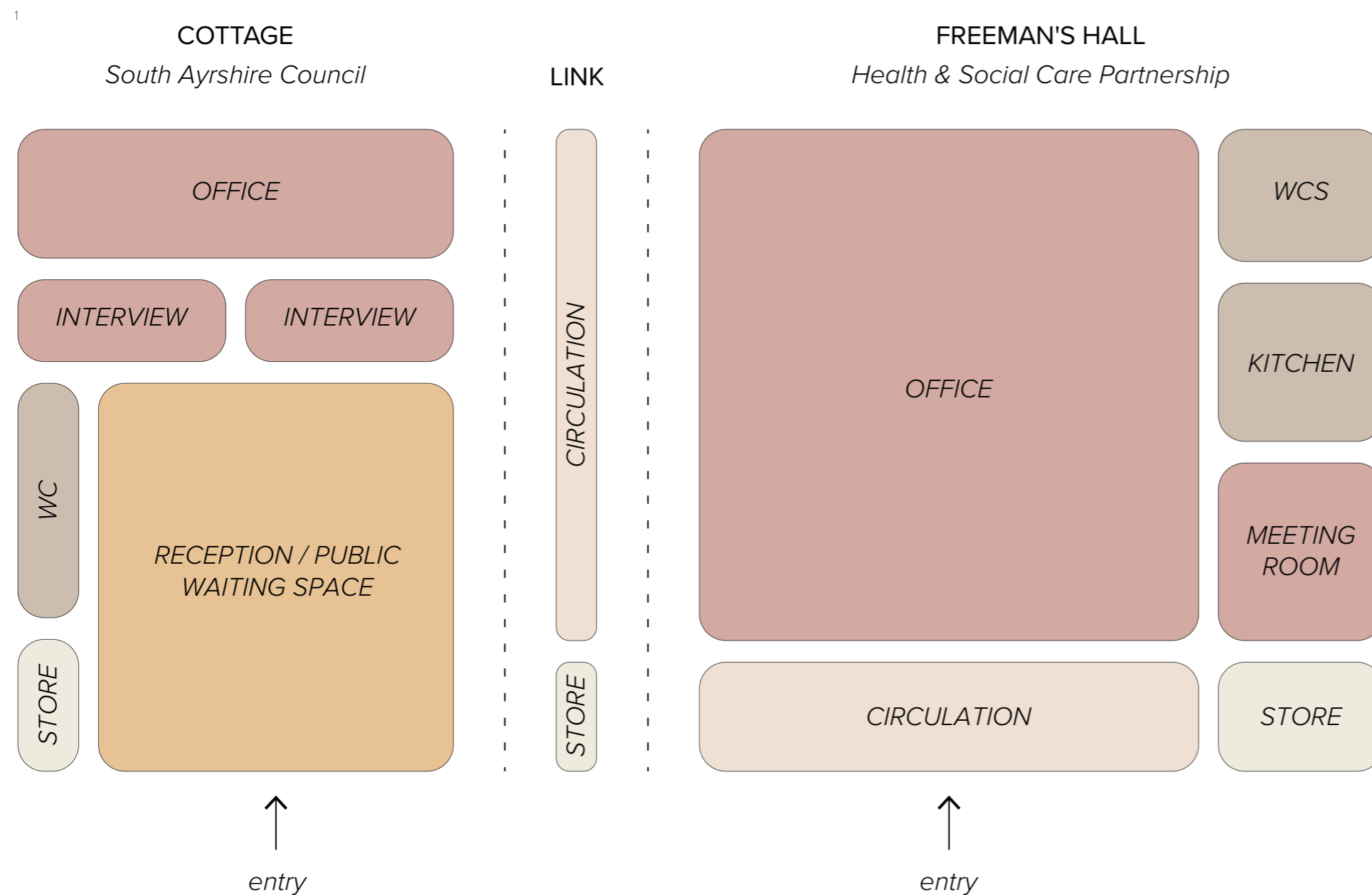
The Freeman's Hall has been recently fitted out to accommodate Health & Social Care Partnership, following proposals developed by Michael Laird Architects in 2020, however HSCP are yet to move into the building. The proposal includes office accommodation arranged over the ground and first floors, with a meeting room, kitchen and ancillary sanitary and store spaces.

The work carried out during the fit out negatively impacts the historic significance and character of the building, refer to the Conservation Plan for further narrative.

The cottage is currently used as a Customer Care Contact Centre, operated by South Ayrshire Council one day per week.

### 3.4 Current Layout Diagram

1. Existing Accommodation Diagram



The adjacent diagram describes the types of accommodation provided across the Freeman's Hall and the cottage, with office spaces and meeting / interview rooms identified in red, reception / waiting spaces in orange, ancillary spaces such as WCs and kitchens in brown, stores in beige and circulation in pale orange.

The recently fitted out Freeman's Hall predominately provides office space, and supported by a series of smaller accommodation. The area of the cottage is predominately formed by a large reception and waiting space, with useable office space and meeting rooms forming a much smaller proportion of the plan. This layout shows there is opportunity to rationalise the floor plan of the cottage through making efficiencies in the large reception / waiting space, enabling more office / interview room accommodation to be created.

**KEY**

- Office / Meeting Room
- Reception / Waiting
- Sanitary Accommodation / Kitchen
- Store
- Circulation

### 3.5 Existing Floor Plans

1. Existing Floor Plans

1



The existing floor plans demonstrate the space identified in the layout diagram in situ, with the office space to the Freeman's Hall arranged over two levels, with a meeting room to ground floor and kitchen to the first floor. Ancillary accommodation is organised along the south elevation, adjacent to the existing stair.

The plan of the cottage shows the extent of the reception / waiting space, with the office areas and interview rooms located to the north of the building, facing both front and back.

The two buildings are connected via the 'link corridor', which contains a cleaner's store. In the Freeman's hall, this corridor adjoins the circulation space, however in the cottage it adjoins the office, positioned between the two meeting rooms, meaning the office space fulfils a circulatory function, preventing a more efficient arrangement of office furniture.

#### KEY

- Office / Meeting Room
- Reception / Waiting
- Sanitary Accommodation / Kitchen
- Store
- Circulation



## 4.1 Community Consultation

1. Images from public consultation held on 10th September 2023



A community consultation was held on Sunday 10th September 2023 in the Freeman's Hall, as part of 'Doors Open Day'. At this event, the community who attended were invited to imagine potential uses for both the Freeman's Hall and the adjoining cottage, as well as aspirations and ideas for the steeple. These responses have been collated by strategy and research consultant Community Links Scotland and have been summarised in section 4.3. For the full report, refer to appendix 07.

In addition to this consultation, the 'Prestwick Built Heritage Map' as described in section 1.0 formed part of the material shared at this event.



## 4.2 Consultation Boards

### 1. Information boards displayed at consultation

### Prestwick Built Heritage

10.09.2023

### 10.09.2023

**Introduction**

O'DonnellBrown architects have been commissioned by the Prestwick Civic Pride Partnership to undertake a project which considers Prestwick's Built Heritage. The project covers three main strands of work:

1. Cataloguing and mapping of Prestwick's Built Heritage
2. Written Conservation Plans for the Freeman's Hall and the Salt Pen Houses on Maryburgh Road.
3. A feasibility study for the Freeman's Hall which considers possible future community uses and options for replacing the former stables.

The purpose of today's consultation event which is being run as part of the Anytime Doors Open Day programme is to provide an opportunity for the public to access the Freeman's Hall and participate in a discussion about Prestwick's Built Heritage and possible future uses for the Freeman's Hall.

We would also like to gather thoughts and opinions on the Freeman's Hall. Please complete one of our questionnaires and post any additional comments on these boards.

Illustrated below is a map of our proposed Built Heritage Trail. We would like you to share stories, memories and local information about the buildings which have been included on the trail. The intention is to work with Civic Pride Partnership and local school pupils to develop the trail and publish it as a small booklet made available to the local community.

O'DonnellBrown      Prestwick Civic Pride Partnership

**Key:**

1. The Mercat Cross	17. Greyfriars, 25 Links Road
2. Old Post Office	18. Polish War Memorial
3. 16-22 The Cloys	19. Prestwick St Nicholas Golf Club
4. Walker & Hutchinson's Houses	20. Salt Pen Houses
5. 8 & 14 The Cross	21. Kingcote, Bruce's Well and the Ruins of St Ninians Hospital
6. Old Burgh Chambers (Freeman's Hall)	22. The Old Courthouse at St Ninians
7. 4 & 7 The Docks	23. St Nicholas Parish Church
8. The Red Lion	24. The Broadway Cinema
9. 23-37 Main Street	25. Prestwick South Parish Church
10. Prestwick Bieldak	26. Prestwick Community Education Centre
11. Prestwick War Memorial	27. Monkton and Prestwick North Parish Church
12. Former Bank at The Cloys	28. St Nicholas' Church and Graveyard
13. John Kippax's House	29. St Clutha's Parish Church
14. 6 Station Road	30. Stone Monument
15. Prestwick Town Railway Station & Waiting Room	
16. Prestwick Golf Club	

### Old Burgh Chambers | Freeman's Hall

10.09.2023

### 10.09.2023

**History**

Situated on the corner of The Cross and Kirk Street, the site of the Freeman's Hall originally served as an early 18<sup>th</sup> century tollbooth and was the first municipal building in Prestwick. The current building was commissioned by the burgh of Prestwick as the Burgh School and was designed in the Gothic Revival style with a spire and clock, built in ashlar stone and completed in 1823.

The ground floor was initially used as a prison and the first floor was used by the burgh school which accommodated some 60 children. By the late 19<sup>th</sup> century the burgh council had assumed most of the functions of the burgh and the building became the Burgh Hall. The building is Category B listed as LB40329.

1. St Nicholas Gate, Liddington Palace  
2. Salt Pen House, O'DonnellBrown  
3. The Pipe Factory (O'DonnellBrown)

### Prestwick Built Heritage

10.09.2023

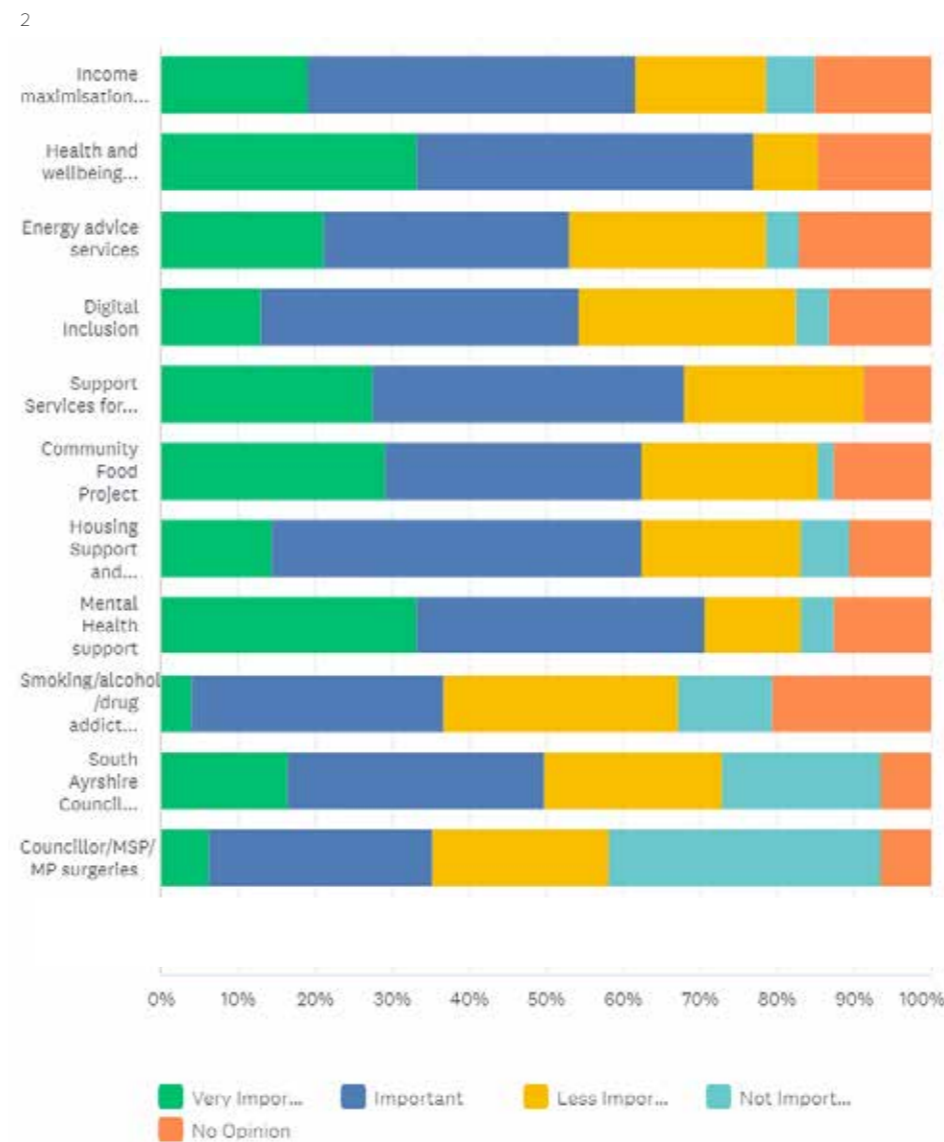
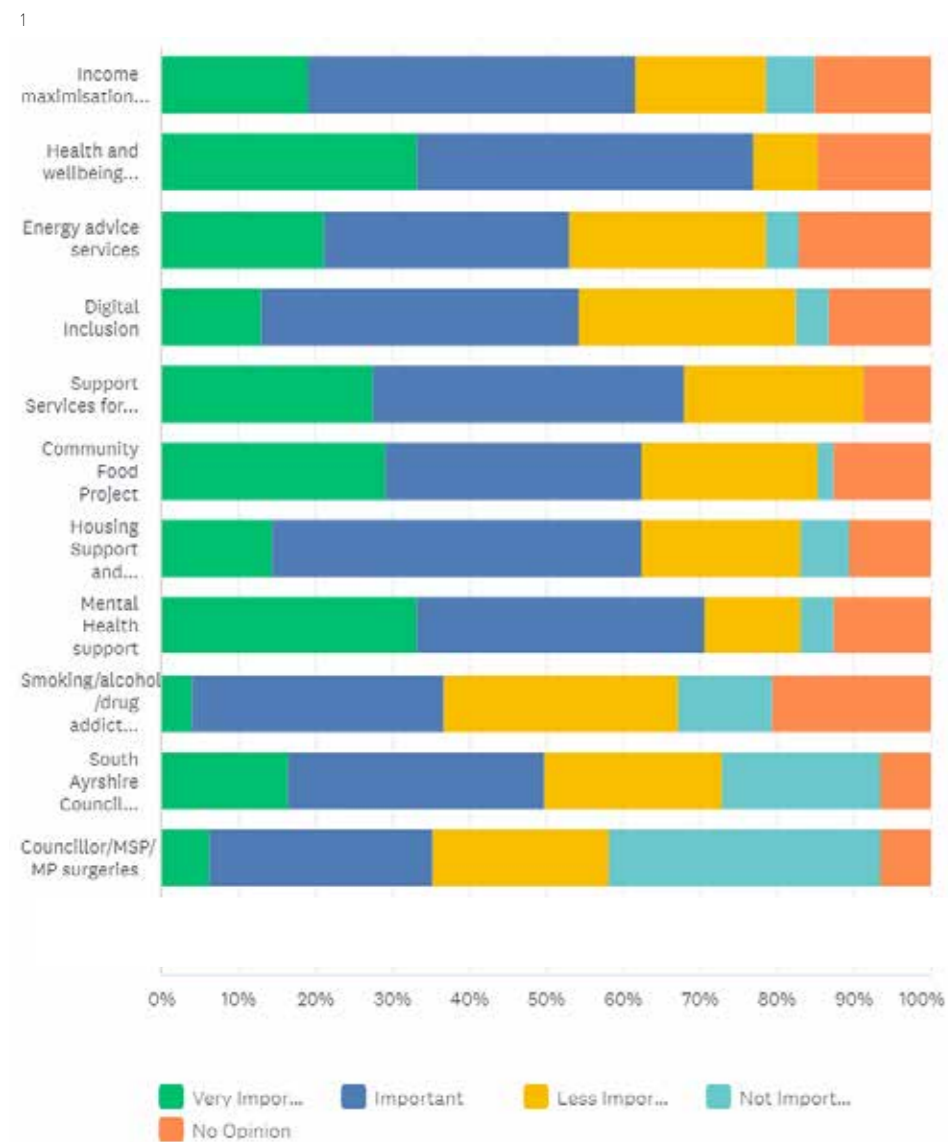
### 10.09.2023

**Freeman's Hall Current Use**

**Your thoughts for the future**

## 4.3 Community Feedback

1. Potential Future Activities at the Freeman's Hall
2. Potential Future Services at Freeman's Hall



The below extract from 'Freeman's Hall Survey Results from Doors Open Day Event', as prepared by Community Links Scotland, describes the findings from the Public Consultation held on Sunday 10<sup>th</sup> September 2023:

### Potential Future Activities at the Freeman's Hall

The graphic [to the left (1)] highlights what respondents considered most important activities that could take place in the Freeman's Hall in the future. Heritage activities were viewed as very important by almost 50% with 90% seeing this as very/important. The next three activities were all linked around health and care for older residents, something that reflects the respondents, but also reflects the older demographic population profile for the town. The second most popular activities were those related to Dementia, followed by support for carers and Drop in Centre for elderly residents. While plans are being organised for the hall itself, these are all activities which could take place in the adjacent cottages.

### Potential Future services at Freeman's Hall

Services which scored highest were again those themed around those linked to improving and supporting health. Health and Well Being Services scored highest in the first two categories followed by Mental Health Support, Support Services for Children and Families, Community Food Project and Housing Support and Advice. These services could be delivered both from the Hall and the adjacent cottages.

### General Activities

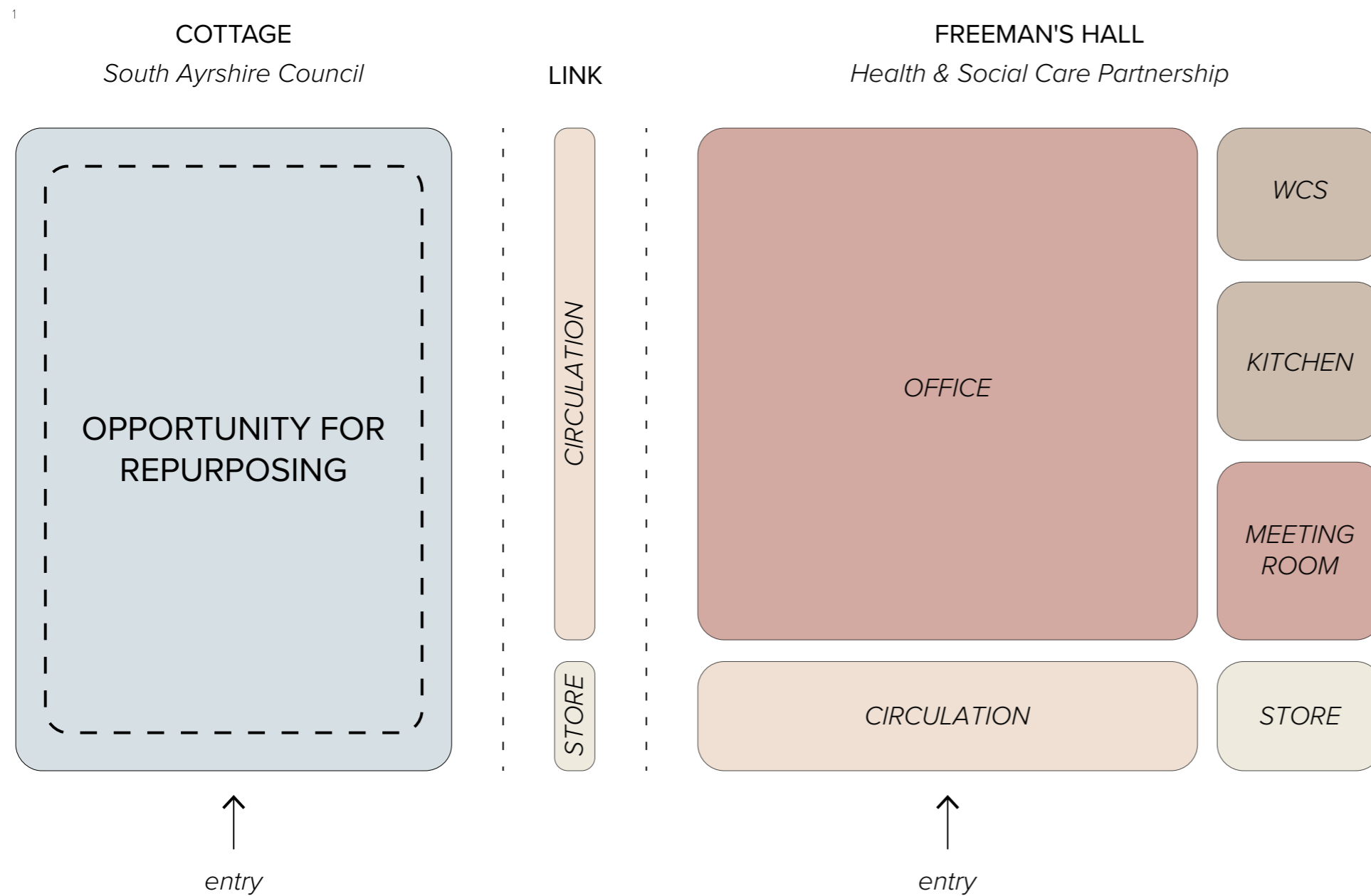
Activities for older people were seen as most important, closely followed by activities for young people, much less significant were activities for the working age population.

Respondents were also very keen on ensuring there were more volunteering opportunities with whatever was planned with 45% considering this to be very important.



## 5.1 Layout Analysis

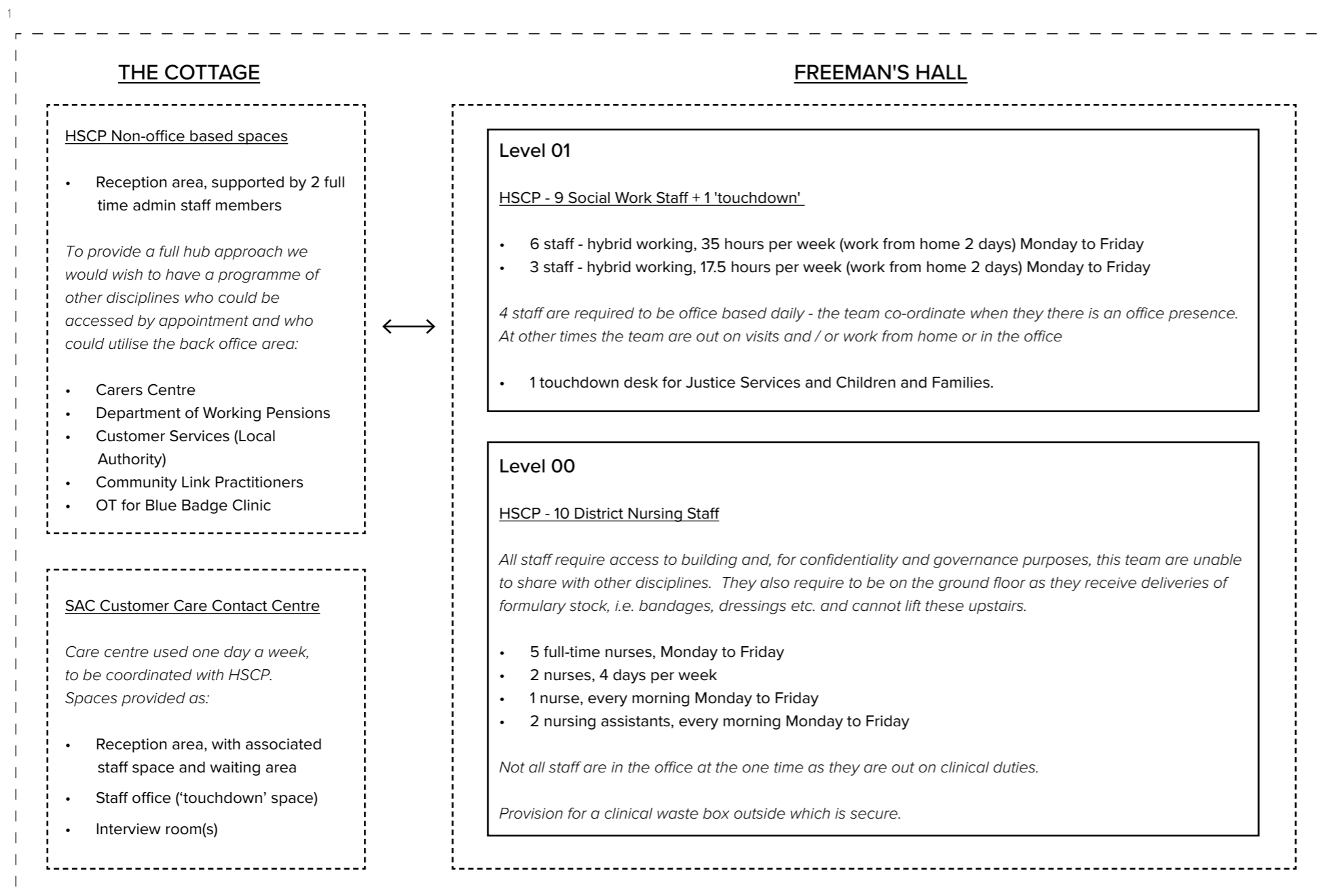
1. Existing Accommodation Diagram



Following the space analysis carried out of the Freeman's Hall and adjoining cottage, it is possible to identify an opportunity for repurposing the cottage to create a more efficient space for both the needs of South Ayrshire Council, Health & Social Care Partnership and the local community, allowing Prestwick residents to engage with, and have access to, the town's heritage asset.

## 5.2 HSCP Briefing

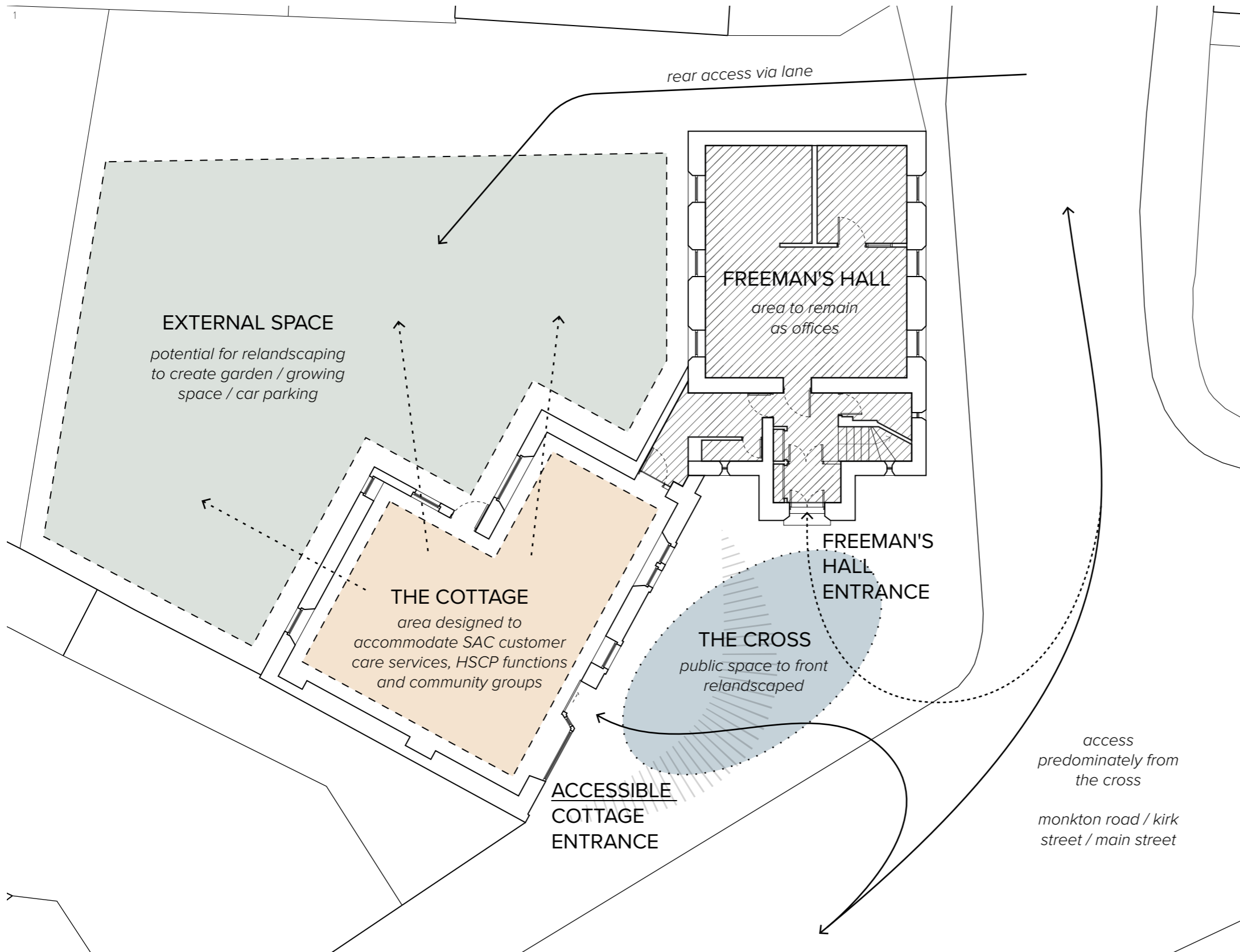
1. HSCP briefing diagram



Throughout the design process, Health & Social Care Partnership have been consulted to understand their needs and space requirements, as outlined in the adjacent diagram. This requirement located Districting Nursing to the ground floor of the Freeman's Hall, with Social Work and Justice Services and Children's and Families to the first floor. The briefing identifies the need for a dedicated reception space to the cottage, with a variety of flexible spaces of different sizes for use by the various disciplines using the space.

SAC Customer Care Contact Centre's requirements of a reception space with waiting area, as well as an office and interview rooms, align with the requirements of HSCP, enabling a flexible use of the facility, with coordination of in-use days.

1. Opportunities Diagram



## 5.3 Constraints & Opportunities

The site offers many opportunities for enhancement:

- The position of the buildings on 'The Cross' offers opportunity to enhance the public realm to the front of the buildings, creating a more enjoyable space for both the building users and wider community.
- Although the Freeman's Hall has been recently fitted-out, this option has made allowances for the repair of building fabric, including repointing of stonework and roof repairs, the replacement of windows with suitable heritage alternative and general upgrades of internals. Refer to the conservation plan for recommended heritage improvements and opportunities to remove items of negative impact.
- There is opportunity to reimagine and enhance the existing cottage layout, ensuring the available space is able to provide for the varying activities that take place there. Linking the cottage space with the existing external yard area through landscape design will enhance the setting of both the cottage and Freeman's Hall, creating an improved environment for those using the building and promoting health and wellbeing.

1. Option 01 Ground Floor Plan



**KEY**

<span style="display: inline-block; width: 15px; height: 10px; background-color: #a0c0e0; border: 1px solid black;"></span>	Office / Meeting Room / Kitchen
<span style="display: inline-block; width: 15px; height: 10px; background-color: #f0b080; border: 1px solid black;"></span>	Flexible / Activity / Community Space
<span style="display: inline-block; width: 15px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span>	Circulation / Sanitary Space / Store

## 5.4 Option 01 Ground Floor Plan

### The Freeman's Hall

An allowance has been made for repair of building fabric, including repointing of stonework and roof repairs. Replacement of windows with suitable heritage alternative. General upgrade of internals, including removal of suspended grid ceiling and replacement with plasterboard, however please refer to the conservation plan for recommended heritage improvements and opportunities to remove items of negative impact. The current layout allows HSCP's space requirements to be met, with sufficient space for 10 desks to both ground floor and first floor. If not required, the meeting room may be used as storage space by District Nursing.

### The Cottage

The proposed works include the reimaging of the internal layout of the cottage, with the consolidation of the reception / waiting area, and the creation of a direct link to the adjoining corridor for access to Freeman's Hall, allowing for a clear accessible route in to both the cottage and Freeman's Hall. Three activity rooms are provided of varying scales, allowing for flexibility of use, with one to include kitchen facilities, promoting principles of health and wellbeing. Supporting this accommodation is an accessible WC and staff space. The proposed works include allowance for repair of building fabric, including re-rendering of external walls and roof repairs, replacement of windows with suitable heritage alternative.

### External Works

New external landscaping to the public space to front of the buildings is to include new steps and ramp to the cottage, planters with integrated seating, and new block paving, enhancing the public realm at this key location in Prestwick.

New external landscaping is proposed to the rear yard space, with a mix of hard and soft landscaping as layout, with block paving to areas of hard standing suitable for vehicle traffic to allow for parking. The proposals include raised planters, tying in with the 'wellbeing kitchen', fostering a connection with growing and nature to promote health and wellbeing.

1. Option 01 First Floor Plan



## 5.5 Option 01 First Floor Plan

### The Freeman's Hall

An allowance has been made for repair of building fabric, including repointing of stonework and roof repairs. Replacement of windows with suitable heritage alternative. General upgrade of internals, including removal of suspended grid ceiling and replacement with plasterboard, however please refer to the conservation plan for recommended heritage improvements and opportunities to remove items of negative impact. The current layout allows HSCP's space requirements to be met, with sufficient space for 10 desks to both ground floor and first floor. If not required, the meeting room may be used as storage space by District Nursing.

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The proposed works include the reimaging of the internal layout of the cottage, with the consolidation of the reception / waiting area, and the creation of a direct link to the adjoining corridor for access to Freeman's Hall, allowing for a clear accessible route in to both the cottage and Freeman's Hall. Three activity rooms are provided of varying scales, allowing for flexibility of use, with one to include kitchen facilities, promoting principles of health and wellbeing. Supporting this accommodation is an accessible WC and staff space. The proposed works include allowance for repair of building fabric, including re-rendering of external walls and roof repairs, replacement of windows with suitable heritage alternative.

### External Works

New external landscaping to the public space to front of the buildings is to include new steps and ramp to the cottage, planters with integrated seating, and new block paving, enhancing the public realm at this key location in Prestwick.

New external landscaping is proposed to the rear yard space, with a mix of hard and soft landscaping as layout, with block paving to areas of hard standing suitable for vehicle traffic to allow for parking. The proposals include raised planters, tying in with the 'wellbeing kitchen', fostering a connection with growing and nature to promote health and wellbeing.

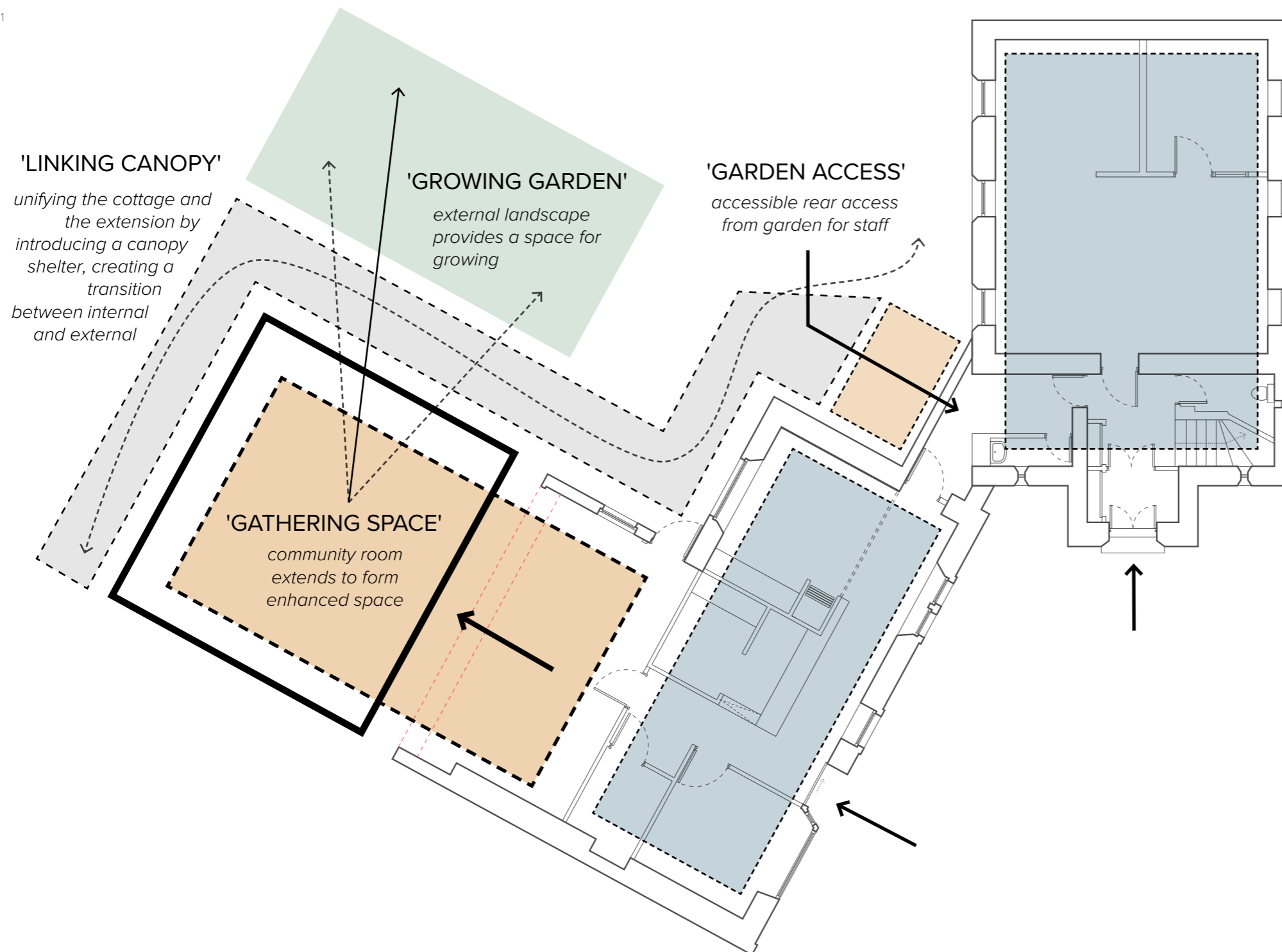
### KEY

- Office / Meeting Room / Kitchen
- Flexible / Activity / Community Space
- Circulation / Sanitary Space / Store



1. Enhanced Option Diagram

1



## 5.6 Enhanced Option

Building on the proposal developed for option 01, this enhancement looks to expand the 'activity space' into the rear yard area, creating a larger, flexible space that can be used by the various groups occupying the building, including the wider community. By extending to the rear, opportunities arise for new access points, with direct entry to the large activity space allowing for direct community access, ensuring a secure line can be achieved between this space and the SAC / HSCP areas. A new accessible entry point has been identified to the link corridor, allowing for a separate accessible point of entry for staff in the Freeman's Hall, also allowing for HSCP deliveries to arrive direct to the ground floor.

Landscaping also forms an important part of this option, with a proposed landscape enhancement to the rear space, with a canopy, navigating the transition between inside and outside, wrapping the extension, cottage and link corridor, unifying the rear elevation.

1. Option 02 Ground Floor Plan



## 5.7 Option 02 Ground Floor Plan

### The Freeman's Hall

Proposed works to the Freeman's Hall remain as option 01.

### The Cottage

Proposed works to the existing cottage remain as option 01, with the extended layout allowing for an increased staff room area and a large store accessed from the large flexible activity space.

In addition to works carried out to the existing cottage, a new extension is proposed, creating a large, flexible activity space that can be used by the various groups occupying the building, including the wider community. By extending to the rear, opportunities arise for new access points, with direct entry to the large activity space allowing for direct community access, ensuring a secure line can be achieved between this space and the SAC / HSCP areas. A new accessible entry point has been identified to the link corridor, allowing for a separate accessible point of entry for staff in the Freeman's Hall, also allowing for HSCP deliveries to arrive direct to the ground floor.

A canopy, navigating the transition between inside and outside, wrapping the extension, cottage and link corridor, is proposed to provide shelter and to unify the rear elevation.

### External Works

New external landscaping to the public space to front of the buildings is to include new steps and ramp to the cottage, planters with integrated seating, and new block paving, enhancing the public realm at this key location in Prestwick.

New external landscaping is proposed to the rear yard space, with a mix of hard and soft landscaping as shown on the layout, with block paving to areas of hard standing suitable for vehicle traffic to allow for parking. The proposals include raised planters, tying in with the 'wellbeing kitchen', fostering a connection with growing and nature to promote health and wellbeing.

- KEY**
- Office / Meeting Room / Kitchen
  - Flexible / Activity / Community Space
  - Circulation / Sanitary Space / Store

1. Option 02 First Floor Plan



**KEY**

- Office / Meeting Room / Kitchen
- Flexible / Activity / Community Space
- Circulation / Sanitary Space / Store

## 5.8 Option 02 First Floor Plan

### The Freeman's Hall

Proposed works to the Freeman's Hall remain as option 01.

### The Cottage

Proposed works to the existing cottage remain as option 01, with the extended layout allowing for an increased staff room area and a large store accessed from the large flexible activity space.

In addition to works carried out to the existing cottage, a new extension is proposed, creating a large, flexible activity space that can be used by the various groups occupying the building, including the wider community. By extending to the rear, opportunities arise for new access points, with direct entry to the large activity space allowing for direct community access, ensuring a secure line can be achieved between this space and the SAC / HSCP areas. A new accessible entry point has been identified to the link corridor, allowing for a separate accessible point of entry for staff in the Freeman's Hall, also allowing for HSCP deliveries to arrive direct to the ground floor.

A canopy, navigating the transition between inside and outside, wrapping the extension, cottage and link corridor, is proposed to provide shelter and to unify the rear elevation.

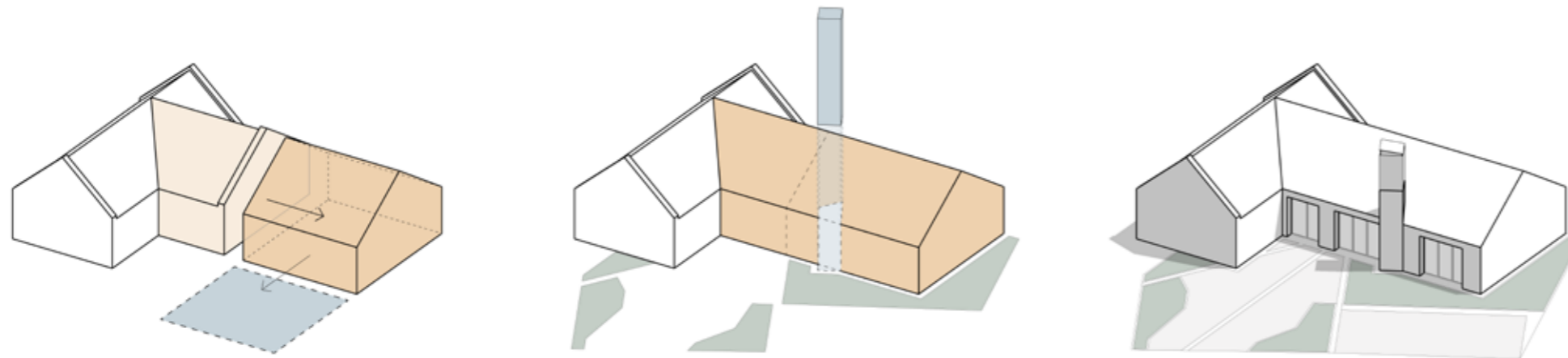
### External Works

New external landscaping to the public space to front of the buildings is to include new steps and ramp to the cottage, planters with integrated seating, and new block paving, enhancing the public realm at this key location in Prestwick.

New external landscaping is proposed to the rear yard space, with a mix of hard and soft landscaping as shown on the layout, with block paving to areas of hard standing suitable for vehicle traffic to allow for parking. The proposals include raised planters, tying in with the 'wellbeing kitchen', fostering a connection with growing and nature to promote health and wellbeing.

- 1. Massing diagram
- 2. External render

1



*extend and create garden*

*elevation treatment and vertical marker*

*welcoming and activated space*

2

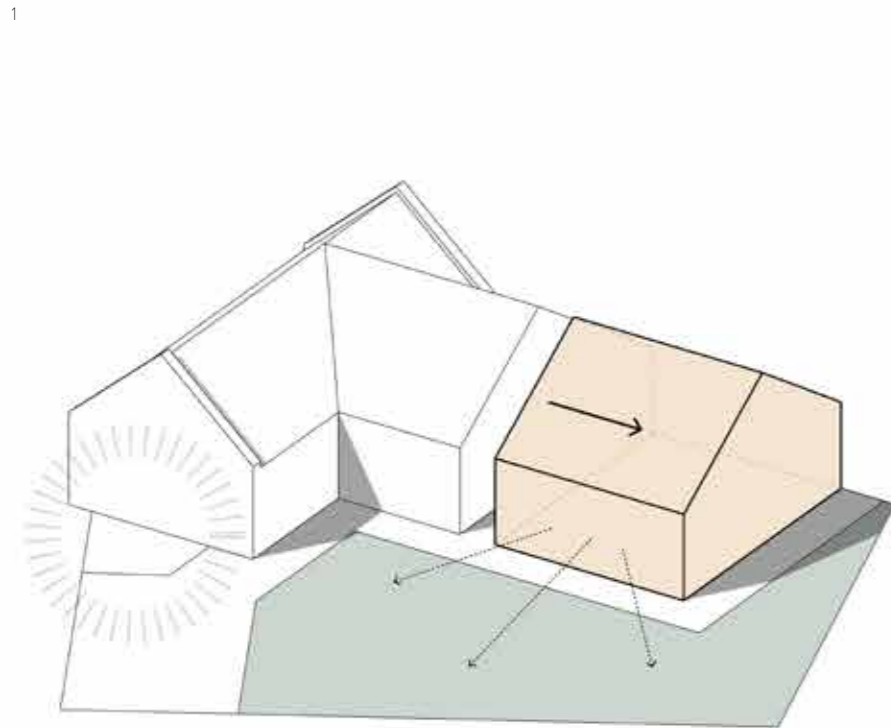


## 5.9 Design Development

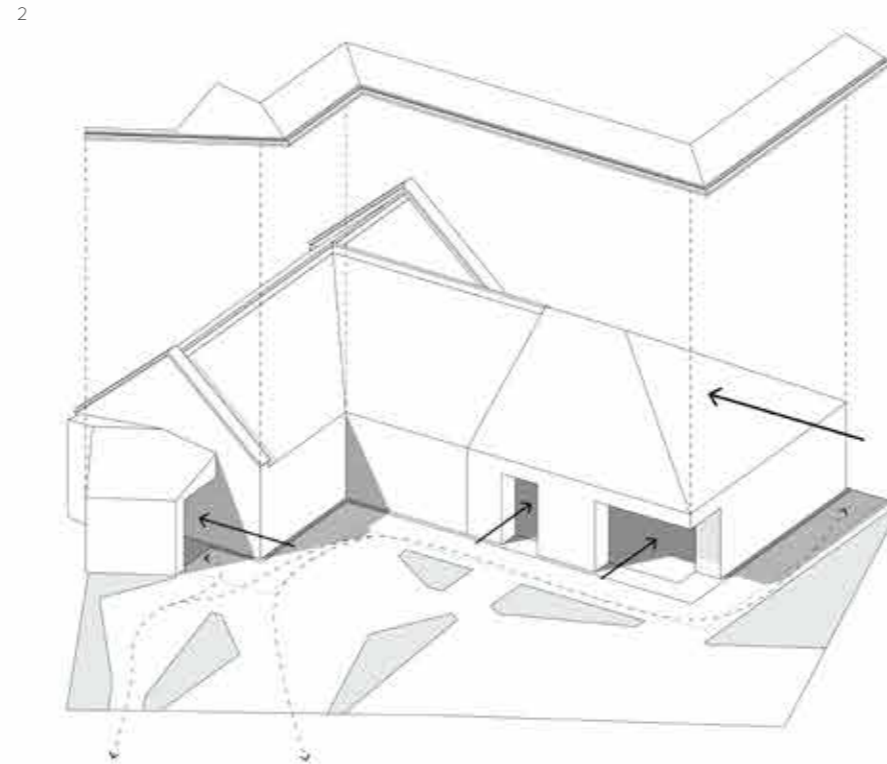
Throughout the design process, a number of approaches have been tested to find a balanced response to the existing buildings. The adjacent drawings describe design development carried out as presented to Prestwick Civic Pride Partnership and South Ayrshire Council on 25<sup>th</sup> October 2023.

## 5.10 Massing Diagram

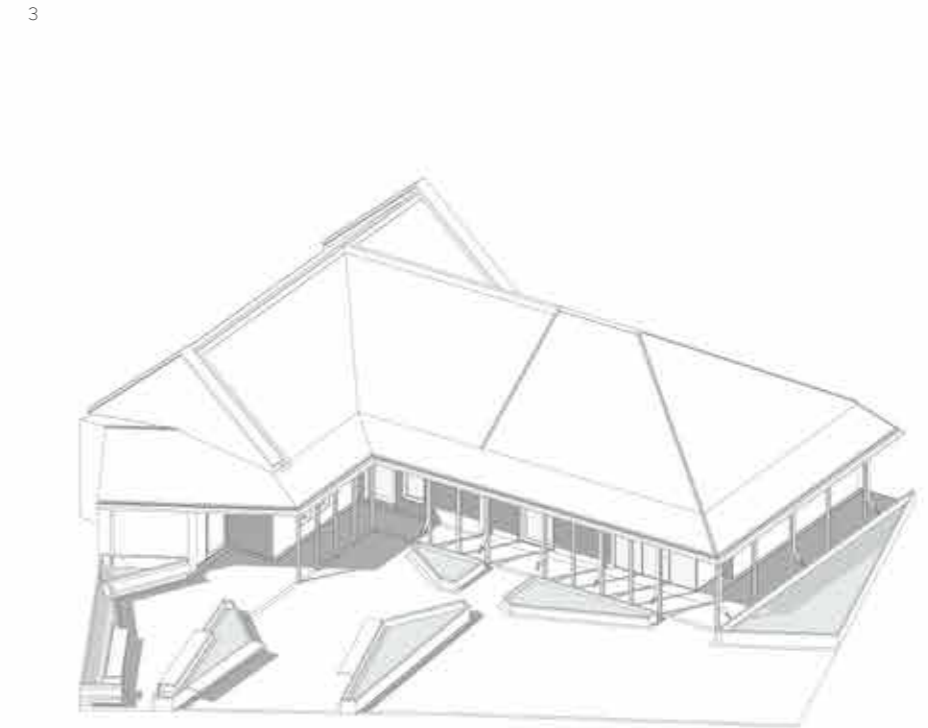
1. Extend cottage massing, create new Freeman's Hall entrance, introduce landscaping
2. Push / Pull massing, introduce unifying canopy. Break landscaping where there is routes of access
3. Add columns to canopy, extrude landscaped pockets to form planters and seating



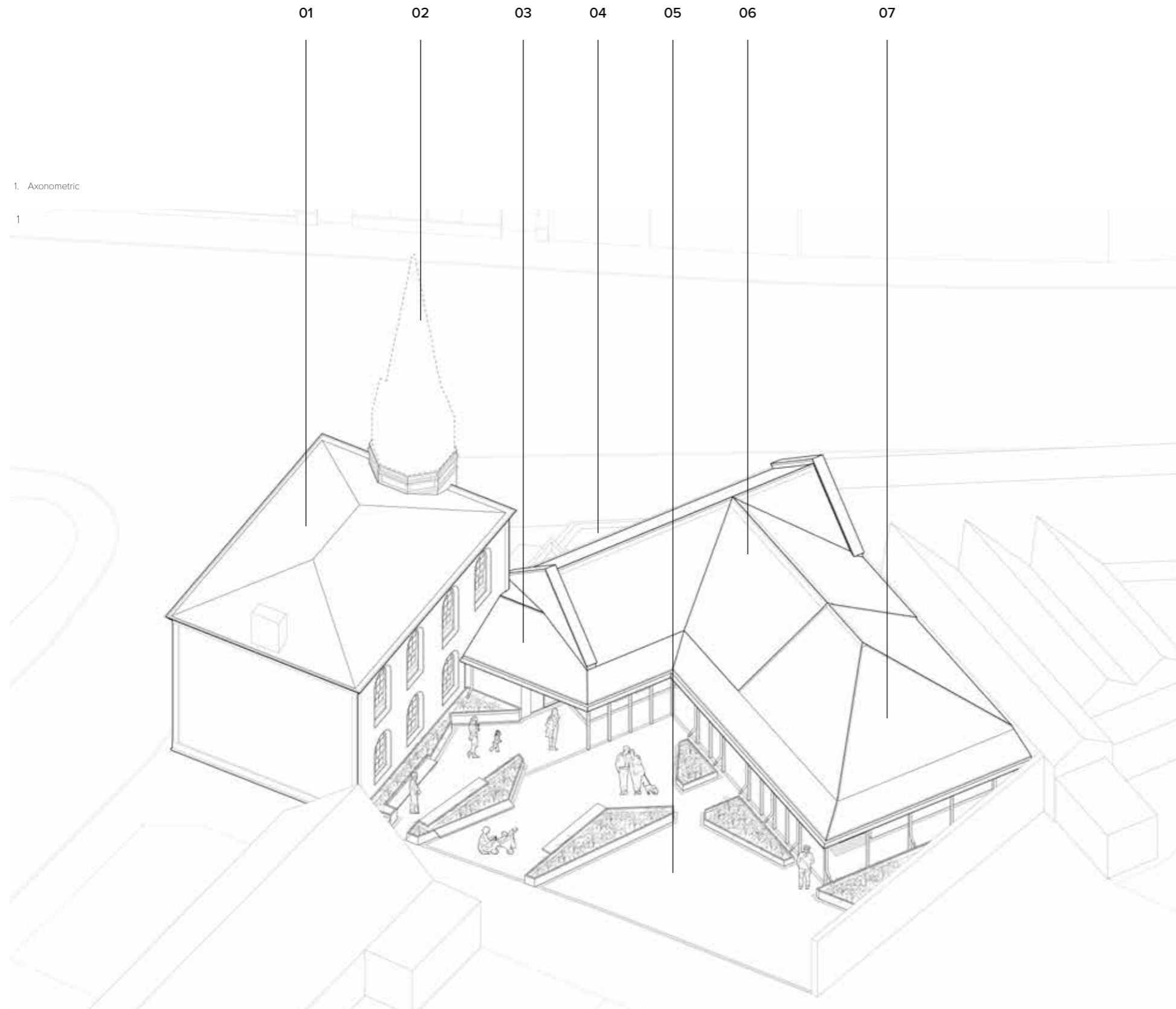
The massing of the existing cottage structure is extruded, with a connection to external landscape introduced. A secondary access point to the link corridor is identified.



Openings are introduced into the massing and the ridge line is pushed to create a dynamic roof form. A canopy is placed unifying the various elements. Routes and approaches are mapped, with the green space broken in response, forming a landscaping design.



The canopy is populated with columns to create a colonnade. The green space is extruded to form planters with integrated bench seating.



## 5.11 Axo of Proposal

### 01. Freeman's Hall

*For proposed works to the existing Freeman's Hall, refer to conservation plan for opportunities to remove items of negative impact.*

### 02. New Steeple

*Reinstatement of historic steeple. Proposals in development, refer to section 6.*

### 03. Rear Accessible Entrance

### 04. External Landscaping - Front

*New external landscaping to public space to front of site, to include new steps and ramp to cottage, planters with integrated seating, and new block paving.*

### 05. External Landscaping - Rear

*New external landscaping to rear yard space, with block paving to areas of hard standing suitable for vehicle traffic to allow for parking. Black metal planters with integrated bench seating as layout.*

### 06. The Cottage

*Allowance for repair of building fabric, including re-rendering of external walls to be finished in mid-grey colour and roof repairs. Replacement of windows to front elevation with suitable heritage alternative, new window arrangement proposed to rear (refer to layouts) with new components to be aluminium / timber composite, PPC finish externally in black - areas of doughtaking noted in red. Internals to be re-modelled as layout, allowance for timber stud walls, hardwood doors, plasterboard ceiling and new finishes throughout.*

### 07. New Extension (and canopy)

1. Proposed Elevations

1



Proposed North Elevation



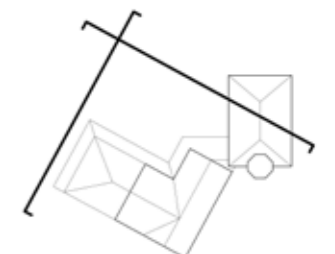
Proposed West Elevation



## 5.12 Proposed Elevations

The adjacent draws describe the rear elevations of the proposed extension, with the massing responding to and reflecting the form of the existing cottage – solid masonry external walls with a pitched roof extending over, with the new respecting the existing ridge line.

This extension is wrapped by a canopy, supported by slender steel columns creating a colonnade around the rear elevation.



### 5.13 External View of Rear 01

1. View from existing car park





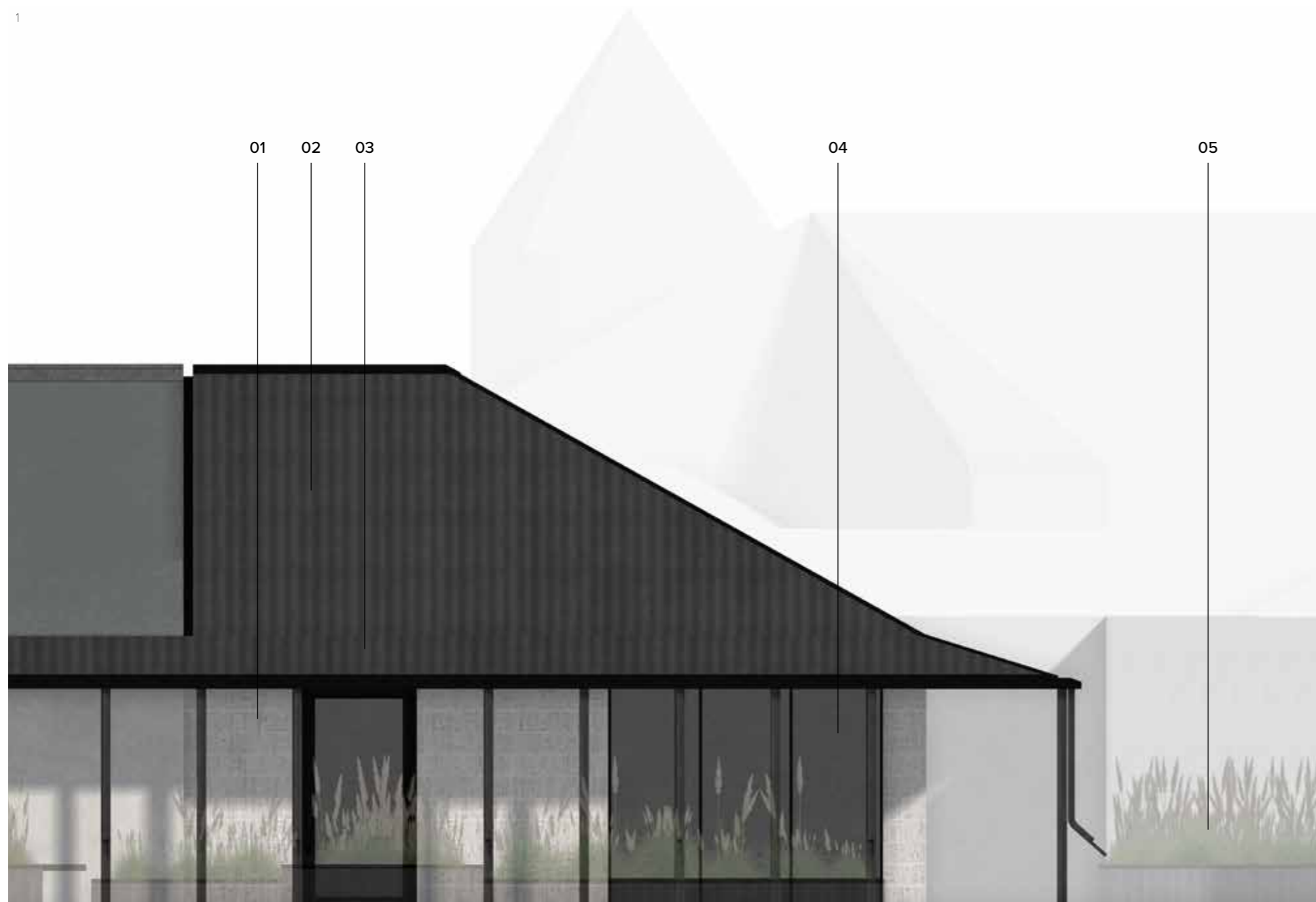
## 5.14 External View of Rear 02

1. View of proposed extension



1. Elevation describing materials

1



## 5.15 Materials

### 01. External Wall and Floor

External walls to be timber kit (TBC by SE), finished in light grey brick to main extension [and black zinc cladding to new Freeman's Hall rear entrance]. Floor construction to be insulated concrete slab.

### 02. Roof

New pitched roof with timber truss structure (design TBC by SE), to be finished in black zinc.

### 03. Canopy

Roof extends beyond building line to form canopy wrapping extension, rear of existing cottage and new Freeman's Hall rear entrance, to be finished in black zinc, with black zinc to soffit. Supported by 100mm RHS columns PPC in black. Eaves fitted with integrated gutter with downpipes integrated into RHS columns to feed planters.

### 04. External Components

External components to be aluminium / timber composite, PPC finish externally in black.

### 05. External Landscaping

New external landscaping to rear yard space as layout, with block paving to areas of hard standing suitable for vehicle traffic to allow for parking. Black metal planters with integrated bench seating as layout.

*All new build elements to meet section 6 of non-domestic building regulations.*

## 5.16 Option 01 Cost Plan

1. Extract from 'Stage 1 Elemental Budget Cost' for Option 01

1

### SUMMARY OF TOTAL ESTIMATED PROJECT COST

#### 1 CONSTRUCTION COST ESTIMATE

1.1	Rebuild spire		£	387,100
1.2	Cottage works		£	411,300
1.3	Freeman's Hall works		£	173,000
1.4	External works		£	107,300

1	TOTAL CONSTRUCTION COST ESTIMATE		£	<u>1,078,700</u>
---	----------------------------------	--	---	------------------

2	VAT ON WORKS	20.00%	£	215,700
---	--------------	--------	---	---------

3	PROFESSIONAL FEES	17.00%	£	183,400
---	-------------------	--------	---	---------

4	VAT ON FEES	20.00%	£	36,700
---	-------------	--------	---	--------

	TOTAL COST ESTIMATE		£	<u>1,514,500</u>
--	---------------------	--	---	------------------

#### 5 OTHER DEVELOPEMENT COSTS

	Surveys	}	£	
	Statutory approvals		£	
	Archaeology		£	16,200
	Other		£	

	<b>TOTAL ESTIMATED PROJECT COST</b>		£	<u><u>1,530,700</u></u>
--	-------------------------------------	--	---	-------------------------

The adjacent extract taken from 'Stage 1 Elemental Budget Costs' as prepared by Brown + Wallace represents a summary of the estimated order of costs for carrying out proposed Option 01 works to Freeman's Hall, Cottage and External Works to front and rear. Works are inclusive of rebuilding 2011 demolished steeple on Category B listed former Burgh Halls.

Costs are high level RIBA Stage 1 based on November 2023 pricing levels and market conditions, refer to appendix 03 for full document.

## 5.17 Option 02 Cost Plan

1. Extract from 'Stage 1 Elemental Budget Cost' for Option 02

1

### SUMMARY OF TOTAL ESTIMATED PROJECT COST

#### 1 CONSTRUCTION COST ESTIMATE

1.1	Rebuild spire		£	387,100
1.2	Cottage works		£	404,600
1.3	Freeman's Hall works		£	173,000
1.4	Activity room extension		£	278,500
1.5	External works		£	95,800

1	TOTAL CONSTRUCTION COST ESTIMATE		£	<u>1,339,000</u>
---	----------------------------------	--	---	------------------

2	VAT ON WORKS	20.00%	£	267,800
---	--------------	--------	---	---------

3	PROFESSIONAL FEES	17.00%	£	227,600
---	-------------------	--------	---	---------

4	VAT ON FEES	20.00%	£	45,500
---	-------------	--------	---	--------

	TOTAL COST ESTIMATE		£	<u>1,879,900</u>
--	---------------------	--	---	------------------

#### 5 OTHER DEVELOPEMENT COSTS

	Surveys	}	£	
	Statutory approvals		£	
	Archaeology		£	28,100
	Other		£	

	<b>TOTAL ESTIMATED PROJECT COST</b>		£	<u><u>1,908,000</u></u>
--	-------------------------------------	--	---	-------------------------

The adjacent extract taken from 'Stage 1 Elemental Budget Costs' as prepared by Brown + Wallace The following represents a summary of the estimated order of costs for carrying out proposed Option 02 works to Freeman's Hall, Cottage with Activity room extension and External Works to front and rear as detailed in O'DonnellBrown Stage 2 Report dated November 202.

Costs are high level RIBA Stage 1 based on November 2023 pricing levels and market conditions, refer to appendix 04 for full document.

## 5.18 Next Steps

1. Image of proposals to cottage

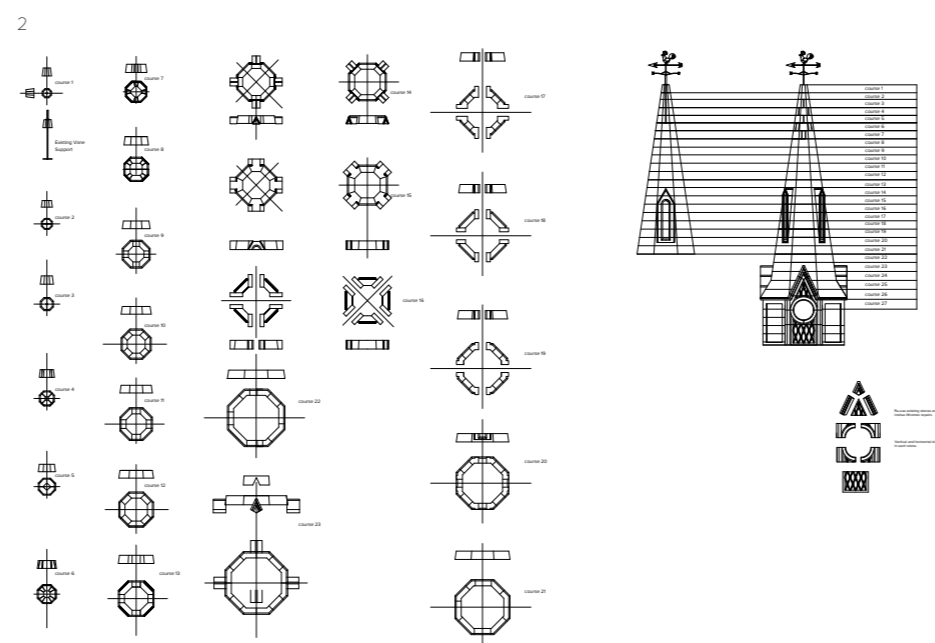


Following the conclusion of stage 2 / feasibility design, the next steps to progress the proposed works to the cottage would be as:

- Sign-off of RIBA stage 2 design
- Further engagement with South Ayrshire Council and Health & Social Care Partnership, with agreement of proposals
- Develop through RIBA stage 3, producing developed and coordinated information
- Submit proposals to Planning and for Listed Building Consent (Statutory Approvals)



1. Freeman's Hall in 1999, Canmore
2. Steeple Coursing Survey, as prepared by McColm Civil & Structural Engineers, 2011
3. Freeman's Hall in 2023
4. Article from the Ayr Advertiser, 1844

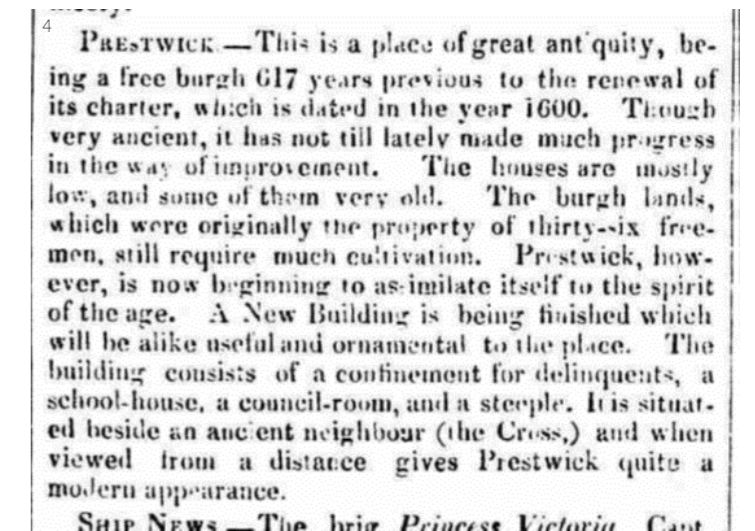


## 6.1 Historic Steeple

The Freeman's Hall steeple was deemed structurally unsafe and condemned, and subsequently taken down by the Council in 2011. Despite the intention for repairs and structural work to be carried out to reinstate the existing steeple, the project has not been realised.

There is debate about whether the steeple was included in the hall's original construction, with opposing references found. The History of Prestwick by John Strawhorn states that it was added later, however an article from the Ayr Advertiser, dated 1844, contradicts this statement, noting "the building consists of ... a steeple", as shown in the below image (4).

In response to the continued community interest and will to see the steeple, or a replacement, reinstated, the following chapter explores potential design approaches to achieve a new steeple proposal. It is understood the original stone is unable to be reused, therefore these proposals identify designs for a new replacement. Alongside design approaches, the chapter outlines the findings from both the local community consultation and the workshop with architectural conservation students from the University of Strathclyde.



## 6.2 Steeple Post-Dismantlement

1. Clock face
2. Stone from stage
3. Decorative motif from stage and stone surround to clock face
4. Steeple lower coursing
5. Steeple lower-mid coursing
6. Steeple upper-mid coursing
7. Steeple top



The adjacent images show the dismantled steeple and its condition as recorded on 9th January 2013.

McColm Civil & Structural Engineers describe the context in which these photos were taken and the condition of the stone as:

*Stones were reconstructed in courses within the carpark of Newton House to allow a full dimensional and condition survey with the view to determining repair or replacement quantities for reinstatement.*

*Unfortunately, the condition of the stone suffered further deterioration as they sat exposed to the elements prior to and following the detailed survey.*

*The stones have since been taken indoors to an unknown location, however, given the exposure time at Newton House its very unlikely the stones can be reinstated.*

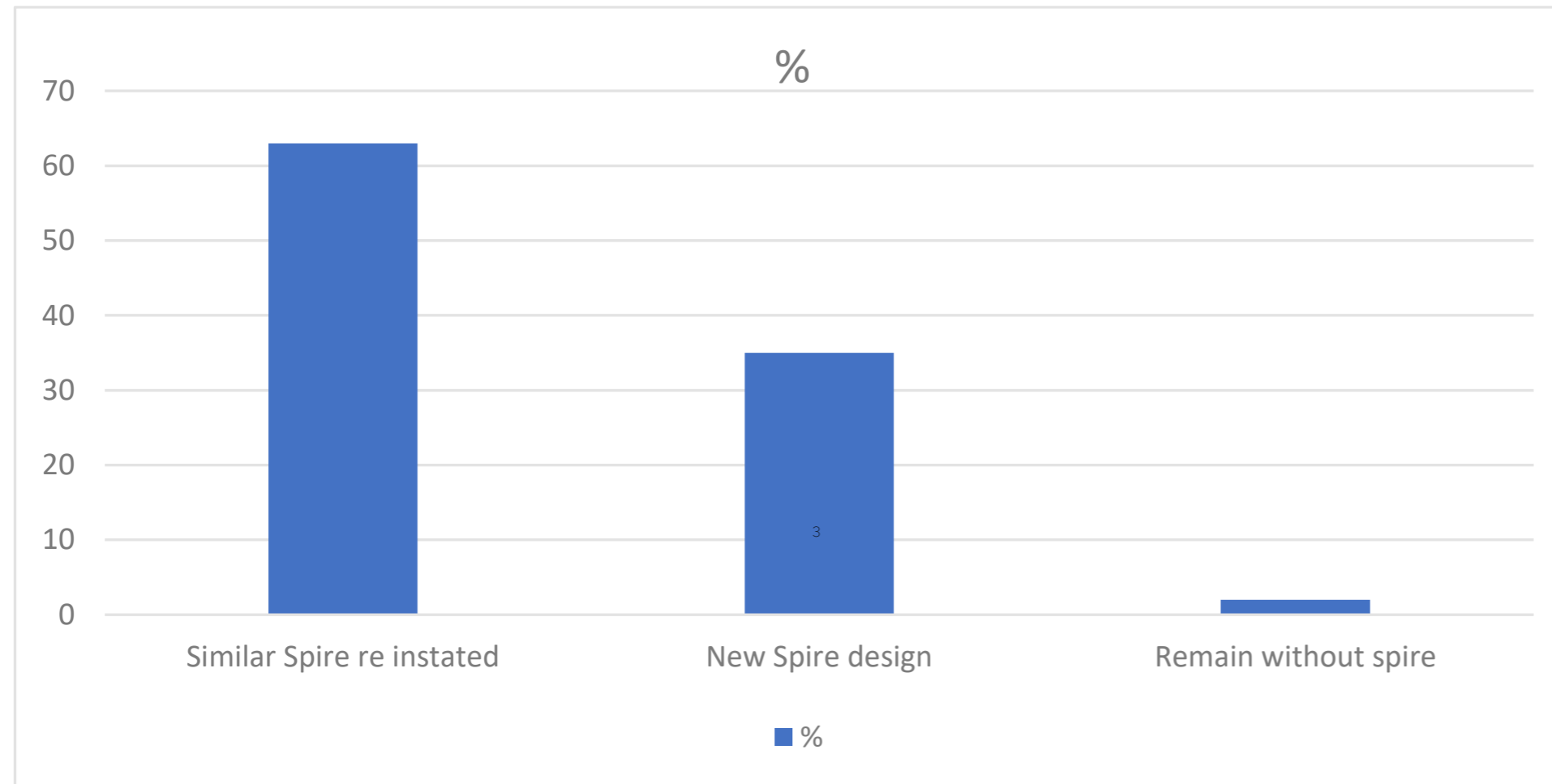
*A reinstatement today, would necessitate a full replacement.*



## 6.3 Community Feedback

1. Views on spire reinstatement

1



The below extract from 'Freeman's Hall Survey Results from Doors Open Day Event', as prepared by Community Links Scotland, describes the findings from the Public Consultation held on Sunday 10<sup>th</sup> September 2023:

### Spire Options

Of those completing the survey, 63% considered that a spire similar to that removed should be re-instated with 35% favouring a new design of spire to reflect Prestwick on 2023, only 2% felt the building should remain as it is currently.

### Spire Comments

Participants provided a wide variety of suggestions, either in support of re-introducing the old style spire, or for the introduction of a new design. Many expressed interest in being part of the process that considered future options.

## 6.4 Design References

1. Chesterfield Crooked Spire
2. Valdemarsvik Chapel - Lewerentz
3. Pastoral Symphony Installation - Bourguignon Quentin + Delebecque Marin + Doin Luc
4. Modern church steeple, unknown location
5. The Blue Market- Hayatsu Architects
6. Reading Between the Lines - Gijs Van Vaerenbergh

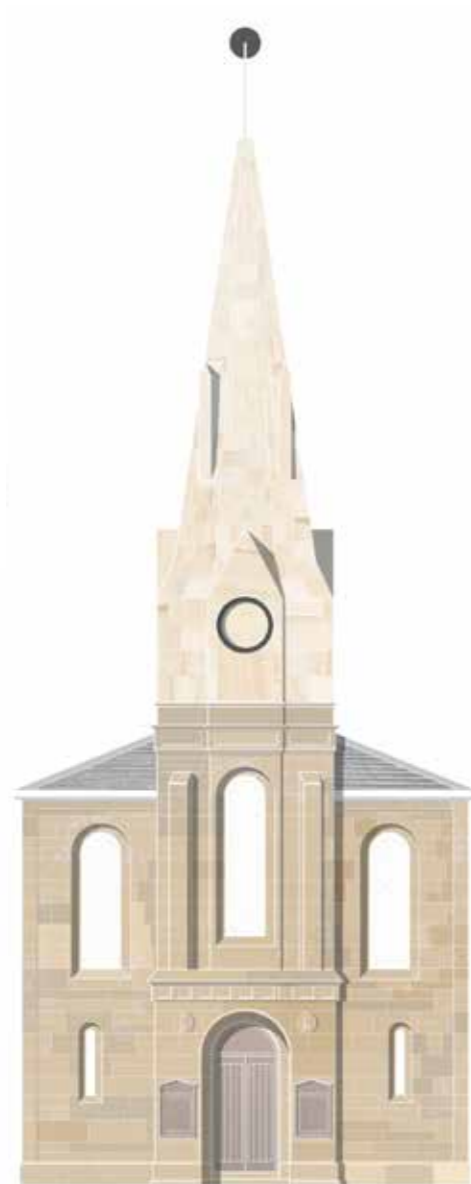


Through looking at design references and precedents, a number of design approaches were identified, including contemporary interpretations of steeples, created using masonry with simple detailing, and frame-like structures, which are lightweight and semi-transparent, approaching steeple design in a modern way.

## 6.5 Approaches to Reinstatement

1. Approach 01
2. Approach 02
3. Approach 03

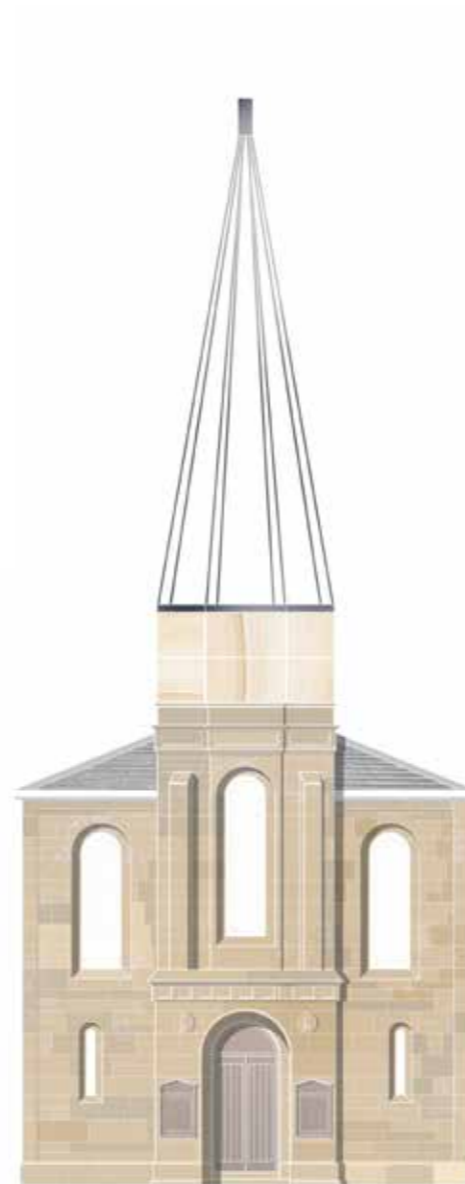
1



**Approach 01**

*Modern interpretation of historic steeple, following proportions and geometries of previous, using stone as the primary material. Reinstatement clock face.*

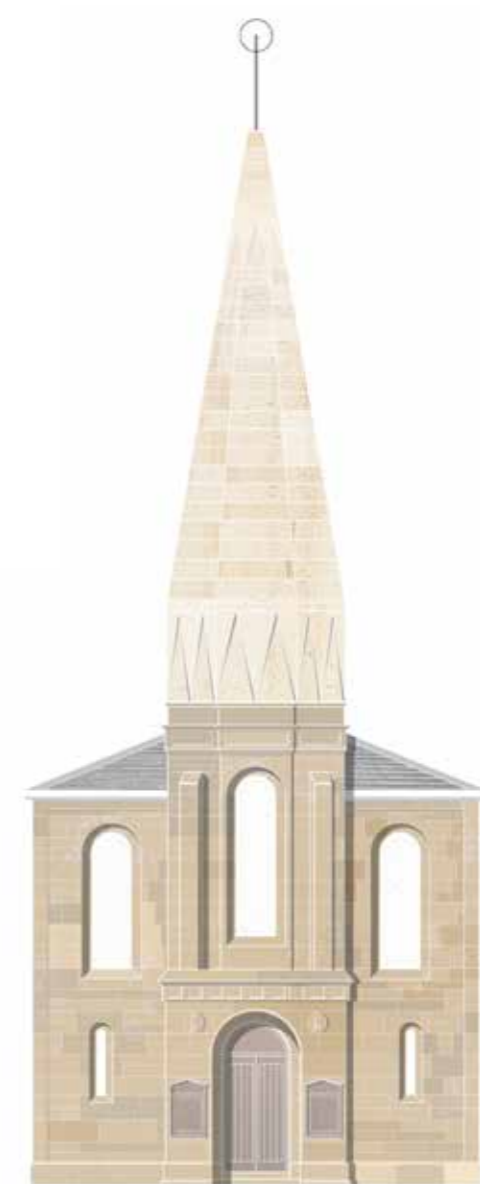
2



**Approach 02**

*Lightweight and transparent structure, with stone stage base and steel spire, following proportions and geometries of previous.*

3

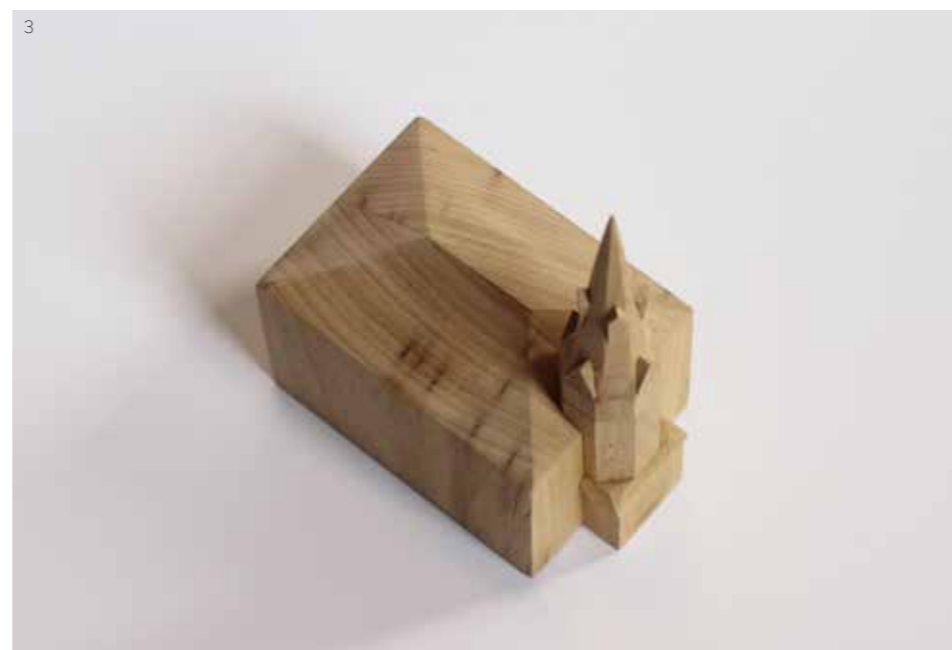


**Approach 03**

*Contemporary design using pre-cast concrete or stone. Design uses references from previous, including proportions and geometries, motifs and decoration.*

## 6.6 Approach 01

1. Image of design approach
2. Image of model
3. Image of model



This design approach proposes a paired back, restrained interpretation of the former steeple, remaining faithful to the geometry and proportions of the previous design. This includes replicating the octagonal stage with protrusions, however all decoration is removed with the exception of an embossed outline of the clock. The spire, similarly, follows the same design and proportions, with a modern weather vane atop.

The proposed materiality is masonry to reference the former, with a number of options to explore. Stone, with the colour chosen to either match the tones of the Freeman's Hall or to be a lighter so the new steeple can be read as new element, could be considered, or pre-cast concrete, with a number of pigment options available to either match, compliment or contrast against the existing stone, would be a contemporary alternative.

This option reflects the permanence of both the former steeple and the Freeman's Hall, through the masonry construction giving the structure weight and solidity.

The weight and structural feasibility of any proposals must be considered, with an assessment of the viability of introducing a new masonry steeple required. No new addition should be added to the detriment of the existing building.

## 6.7 Approach 02

1. Image of design approach
2. Image of model
3. Image of model



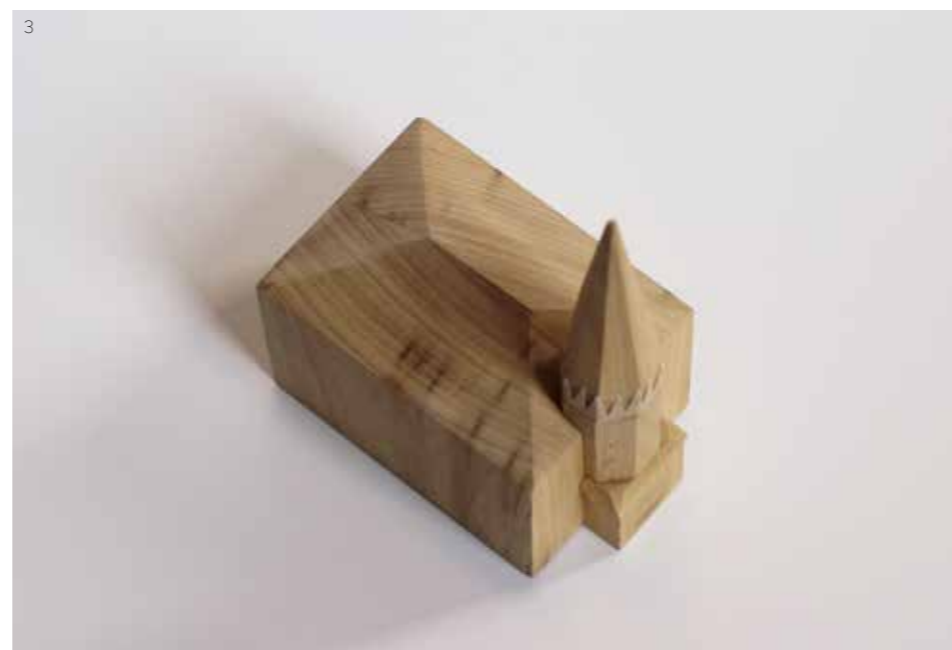
This design approach imagines an alternative to the former, through creating a lightweight metal steeple that uses both a metal frame and finished in a metal mesh, giving the new element a transparent quality. Although distinctly modern in its use of materials, the design follows the geometry and proportions of the previous design, replicating the stage and spire, along with the protruding elements. These elements could be re-interpreted as openings, adding to the lightweight appearance of the structure, allowing this new replacement to act as a memory of the former steeple.

This option would be consciously different to the former, acknowledging its status as a replacement, through the contrasting material choice and lightweight-ness of the structure, which may be considered from a conservation perspective as the most appropriate approach.

The lightweight nature of this proposal may be the most feasible in terms of adding new weight to existing base of the steeple. No new addition should be added to the detriment of the existing building.

## 6.8 Approach 03

1. Image of design approach
2. Image of model
3. Image of model



This design approach proposes a contemporary re-interpretation of the former steeple, simplifying the massing, however remaining faithful to the geometry and proportions of the previous design. This includes replicating the octagonal stage with any protrusions omitted, with an embossed design referencing the decorative motif applied to the original stage. The spire, similarly, follows the same proportions of the former, with any protrusions removed and with a modern weather vane atop.

The proposed materiality is masonry to reference the former, with a number of options to explore. Stone, with the colour chosen to either match the tones of the Freeman's Hall or to be a lighter so the new steeple can be read as new element, could be considered, or pre-cast concrete, with a number of pigment options available to either match, compliment or contrast against the existing stone, would be a contemporary alternative.

This option reflects the permanence of both the former steeple and the Freeman's Hall, through the masonry construction giving the structure weight and solidity, however distinctly modern in its design.

The weight and structural feasibility of any proposals must be considered, with an assessment of the viability of introducing a new masonry steeple required. No new addition should be added to the detriment of the existing building.

## 6.9 Heritage Workshop

1. Photos from event held on 17th November 2023



A workshop was held to discuss the design approaches to the reinstatement of the steeple on 17th November 2023 in Prestwick, with architectural conservation students from the University of Strathclyde and Dr Cristina Gonzalez Longo (MSc Conservation and Built Heritage). Attendees included members of South Ayrshire Council, South Ayrshire Councillors, members of Prestwick Civic Pride Partnership, representatives from O'DonnellBrown and McColm Civil & Structural Engineers, Advanced Accredited Conservation Architect Fiona Sinclair and Nick Walker, Director of Built Heritage at ICENI.

The following observations for appropriate approaches to design were as:

- Community consultation and engagement is key to achieve local aspirations
- The new element can act as a place-marker on this main arterial route through Prestwick, improving the streetscape and fulfilling the role of a landmark, aiding with wayfinding through the town. With the exception of the church, there are no other civic buildings on this approach
- A lightweight structure may be the best approach to preserve the base below and not compromise building
- The design should be authentically legible, with the new element clearly different to the existing building, expressed through material choice
- The stones of the former steeple should be returned to the site and incorporated into an element of the design if unable to be reused at the steeple
- The new weather vane could be a pupil or community designed

## 6.10 Next Steps

1. Model of steeple design option



Following the conclusion of stage 2 / feasibility design outlining the three approaches to the steeple design, the next steps to progress the proposal would be as:

- Develop the three approaches further with input from other consultants
- Arrange further community consultation, where options are presented to the community
- One chosen to take forward and develop through RIBA stage 3, producing developed and coordinated information
- Submit proposals to Planning and for Listed Building Consent (Statutory Approvals)







Do not scale this drawing. All dimensions to be checked on site by the contractor and as such dimensions to be their responsibility. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

**NOTES**  
 Drawings prepared based on information prepared by others. All dimensions to be verified.  
 Site Boundary

P01	22/11/2023	First Issue	ICB
Rev	Date	Description	Int

**STAGE 2**

**O'DonnellBrown**

project title  
**Freeman's Hall, Prestwick**

drawing title  
**Location Plan**

scale	project number	drawn by	checked by	revision date
1:1000 @ A1	23.001	ICB	MD	22/11/2023
drawing no				revision

**FHP - ODB - EX - EX - DR - A - EX001** P01

client  
**Prestwick Civic Pride Partnership**

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Do not scale this drawing. All dimensions to be checked on site by the contractor and as such dimensions to be their responsibility. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

- NOTES
- Drawings prepared based on information prepared by others. All dimensions to be verified.
- 01\_ Existing Freeman's Hall
  - 02\_ Cottage
  - 03\_ External Area - Public Space to Front
  - 04\_ External Area - Yard / Car Parking Space to Rear



Rev	Date	Description	ICB	Int
P01	22/11/2023	First Issue		

**STAGE 2**

**O'DonnellBrown**

project title  
**Freeman's Hall, Prestwick**

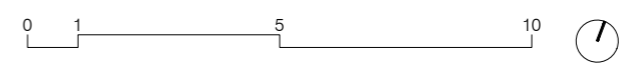
drawing title  
**Existing Level 00 Plan**

scale	project number	drawn by	checked by	revision date
1:150 @ A3	23.001	ICB	MD	22/11/2023

drawing no  
**FHP - ODB-EX - 00 - DR - A - EX100**

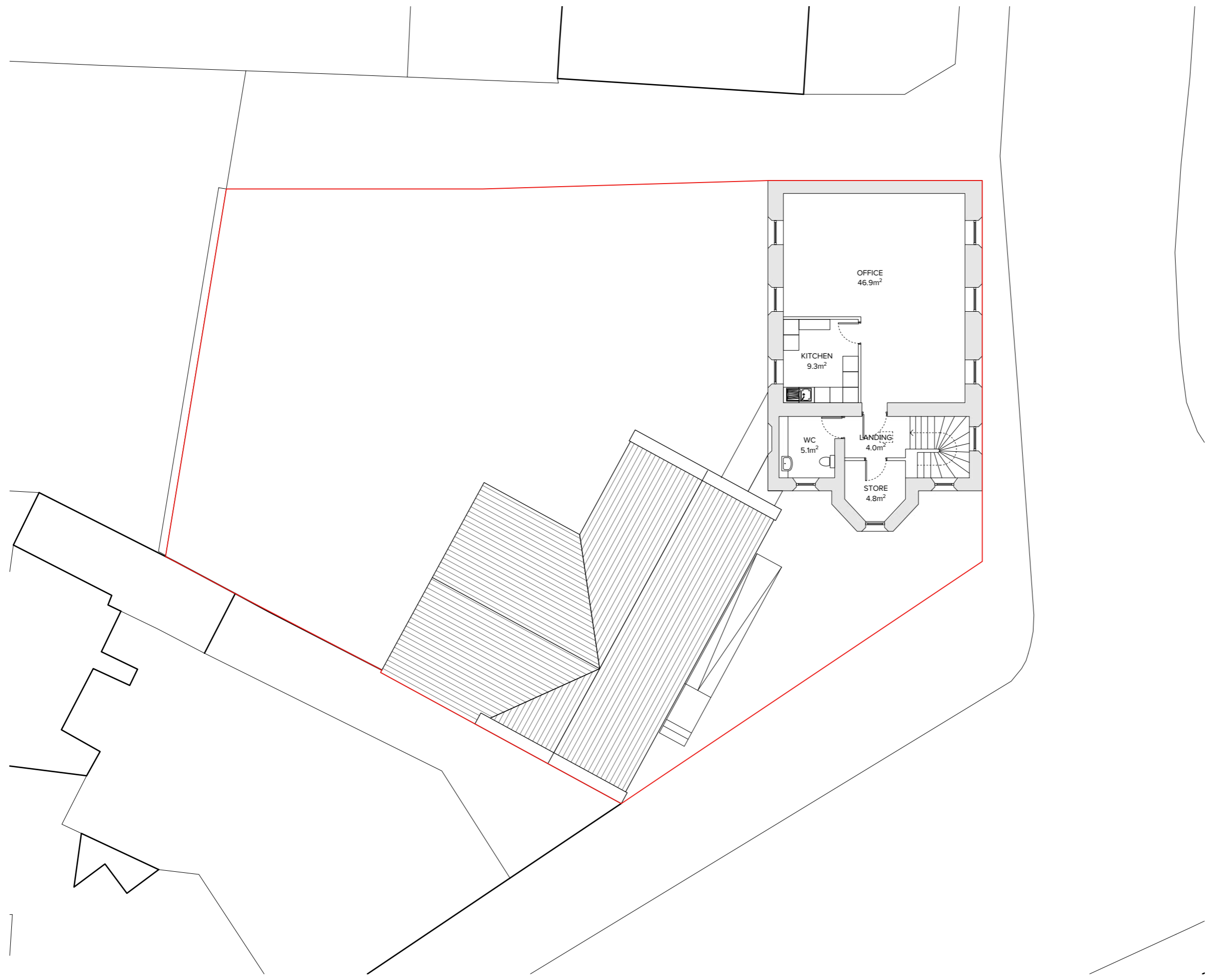
client  
**Prestwick Civic Pride Partnership**

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NOTES  
Drawings prepared based on information prepared by others. All dimensions to be verified



Rev	Date	Description	ICB	Int
P01	22/11/2023	First Issue		

STAGE 2

O'DonnellBrown

project title  
Freeman's Hall, Prestwick

drawing title  
Existing Level 01 Plan

scale	project number	drawn by	checked by	revision date
1:150 @ A3	23.001	ICB	MD	22/11/2023

drawing no  
FHP - ODB - EX - 01 - DR - A - EX101

client  
Prestwick Civic Pride Partnership

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Do not scale this drawing. All dimensions to be checked on site by the contractor and as such dimensions to be their responsibility. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

NOTES\_Option 01

Drawings prepared based on information prepared by others. All dimensions to be verified.

01\_ Existing Freeman's Hall

Allowance for repair of building fabric, including repointing of stonework and roof repairs. Replacement of windows with suitable heritage alternative. General upgrade of internals, including removal of suspended grid ceiling and replacement with plasterboard.

Reinstatement of historic spire. Proposals in development

02\_ Cottage

Allowance for repair of building fabric, including re-rendering of external walls and roof repairs. Replacement of windows with suitable heritage alternative. Internals to be re-modelled as layout, allowance for timber stud walls, hardwood doors, plasterboard ceiling and new finishes throughout.

03\_ External Works - Front

New external landscaping to public space to front of site, to include new steps and ramp to cottage, planters with integrated seating, and new block paving.

04\_ External Works - Rear

New external landscaping to rear yard space, with a mix of hard and soft landscaping as layout, with block paving to areas of hard standing suitable for vehicle traffic to allow for parking. Proposals include 5 no. raised planters.



PO2	08/01/2024	Clarification of parking and bin provision	ICB
PO1	22/11/2023	First Issue	ICB
Rev	Date	Description	Int.

STAGE 2

O'DonnellBrown

project title  
Freeman's Hall, Prestwick

drawing title  
Option 01\_Proposed Level 00 Plan

scale	project number	drawn by	checked by	revision date
1:150 @ A3	23.001	ICB	MD	08/01/2024
drawing no				revision

FHP - ODB - PR - 00 - DR - A - 00100 P02

client  
Prestwick Civic Pride Partnership

Do not scale this drawing. All dimensions to be checked on site by the contractor and as such dimensions to be their responsibility. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

NOTES\_Option 01  
 Drawings prepared based on information prepared by others. All dimensions to be verified.

01\_ Existing Freeman's Hall  
 Allowance for repair of building fabric, including repointing of stonework and roof repairs. Replacement of windows with suitable heritage alternative. General upgrade of internals, including removal of suspended grid ceiling and replacement with plasterboard.  
 Reinstatement of historic spire. Proposals in development

02\_ Cottage  
 Allowance for repair of building fabric, including re-rendering of external walls and roof repairs. Replacement of windows with suitable heritage alternative. Internals to be re-modelled as layout, allowance for timber stud walls, hardwood doors, plasterboard ceiling and new finishes throughout.

03\_ External Works - Front  
 New external landscaping to public space to front of site, to include new steps and ramp to cottage, planters with integrated seating, and new block paving.

04\_ External Works - Rear  
 New external landscaping to rear yard space, with a mix of hard and soft landscaping as layout, with block paving to areas of hard standing suitable for vehicle traffic to allow for parking. Proposals include 5 no. raised planters.



P02	08/01/2024	Clarification of parking and bin provision	ICB
P01	22/11/2023	First Issue	ICB
Rev	Date	Description	Int

**STAGE 2**

**O'DonnellBrown**

project title  
**Freeman's Hall, Prestwick**

drawing title  
**Option 01\_Proposed Level 01 Plan**

scale	project number	drawn by	checked by	revision date
1:150 @ A3	23.001	ICB	MD	08/01/2024
drawing no				revision
<b>FHP - ODB - PR - 01 - DR - A - 00101</b>				<b>P02</b>

client  
**Prestwick Civic Pride Partnership**

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NOTES\_Option 02

Drawings prepared based on information prepared by others. All dimensions to be verified.

01. Existing Freeman's Hall

Allowance for repair of building fabric, including repointing of stonework and roof repairs. Replacement of windows with suitable heritage alternative. General upgrade of internals, including removal of suspended grid ceiling and replacement with plasterboard.

Reinstatement of historic spire. Proposals in development

02. Cottage - Existing

Allowance for repair of building fabric, including re-rendering of external walls, to be finished in mid-grey colour, and roof repairs. Replacement of windows to front elevation with suitable heritage alternative, new window arrangement proposed to rear (refer to layouts) with new components to be aluminium / timber composite, PPC finish externally in black - areas of dunting noted in red. Internals to be re-modelled as layout, allowance for timber stud walls, hardwood doors, plasterboard ceiling and new finishes throughout. Large opening formed in existing east external wall to form connection with new extension - duntings indicated in red.

03. Cottage - Extension

New extension to cottage, with external walls to be timber kit (TBC by SE), finished in light grey brick to main extension and black zinc cladding to new Freeman's Hall rear entrance. External components to be aluminium / timber composite, PPC finish externally in black. Concrete slab.

New pitched roof, timber truss structure (design TBC by SE), extends beyond building line to form canopy wrapping extension, rear of existing cottage and to new Freeman's Hall rear entrance, to be finished in black zinc, with black zinc to soffit. 100mm RHS columns PPC in black as layout. Eaves fitted with integrated gutter with downpipes integrated into RHS columns to feed planters.

Internally to main extension, walls to be plasterboard lined, acoustic felt panels to ceiling following pitch of roof and hardwood timber flooring.

New PPC black metal signage to new Freeman's Hall rear entrance, with internal walls and ceiling to be plasterboard lined and floor to be hardwood timber flooring with entrance barrier matting to external door.

All new build elements to meet section 6 of non-domestic building regulations.

04. External Works - Front

New external landscaping to public space to front of site, to include new steps and ramp to cottage, planters with integrated seating, and new block paving.

05. External Works - Rear

New external landscaping to rear yard space as layout, with block paving to areas of hard standing suitable for vehicle traffic to allow for parking. Black metal planters with integrated bench seating as layout.

Extent of planters / integrated seating indicated by dashed lines on elevations for clarity



PO2	08/01/2024	Clarification of parking and bin provision	DC
PO1	22/11/2023	First Issue	ICB
Rev	Date	Description	Int

STAGE 2

O'DonnellBrown

project title  
Freeman's Hall, Prestwick

drawing title  
Option 02\_Proposed Level 00 Plan

scale	project number	drawn by	checked by	revision date
1:150 @ A3	23.001	ICB	MD	08/01/2024
drawing no				revision

FHP - ODB - PR - 00 - DR - A - 00110 P02

client  
Prestwick Civic Pride Partnership

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Do not scale this drawing. All dimensions to be checked on site by the contractor and as such dimensions to be their responsibility. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

NOTES\_Option 02

Drawings prepared based on information prepared by others. All dimensions to be verified.

01\_ Existing Freeman's Hall

Allowance for repair of building fabric, including repointing of stonework and roof repairs. Replacement of windows with suitable heritage alternative. General upgrade of internals, including removal of suspended grid ceiling and replacement with plasterboard.

Reinstatement of historic spire. Proposals in development

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P02	08/01/2024	Clarification of parking and bin provision	ICB
P01	22/11/2023	First Issue	ICB
Rev	Date	Description	Int

STAGE 2

O'DonnellBrown

project title  
Freeman's Hall, Prestwick

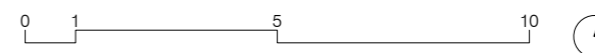
drawing title  
Option 02\_Proposed Level 01 Plan

scale	project number	drawn by	checked by	revision date
1:150 @ A3	23.001	ICB	MD	08/01/2023
drawing no				revision

FHP - ODB - PR - 00 - DR - A - 00111 P02

client  
Prestwick Civic Pride Partnership

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Do not scale this drawing. All dimensions to be checked on site by the contractor and as such dimensions to be their responsibility. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

**NOTES\_Option 02**

Drawings prepared based on information prepared by others. All dimensions to be verified.

**01\_ Existing Freeman's Hall**

Allowance for repair of building fabric, including repointing of stonework and roof repairs. Replacement of windows with suitable heritage alternative. General upgrade of internals, including removal of suspended grid ceiling and replacement with plasterboard.

Reinstatement of historic spire. Proposals in development

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All new build elements to meet section 6 of non-domestic building regulations.

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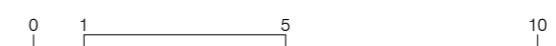
*Extent of planters / integrated seating indicated by dashed lines on elevations for clarity*



Proposed North Elevation



Proposed West Elevation



P01	22/11/2023	First Issue	ICB
Rev	Date	Description	Int

**STAGE 2**

**O'DonnellBrown**

project title  
**Freeman's Hall, Prestwick**

drawing title  
**Option 02\_Proposed Elevations**

scale	project number	drawn by	checked by	revision date
1:150 @ A3	23.001	ICB	MD	22/11/2023
drawing no				revision

**FHP - ODB - PR - XX - DR - A - 00310**    **P01**

client  
**Prestwick Civic Pride Partnership**

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**DO NOT SCALE**  
Use figured dimensions only. If in doubt - Ask the Engineer

**GENERAL NOTES**

This drawing to be read in conjunction with all other relevant drawings, notes and specifications issued by the Engineer and Architect.

All dimensions to be checked on site and the Engineer & Architect notified of any discrepancies prior to commencement of work. All dimension are in millimeters (U.N.O.) Do not scale from this drawing or the computer digital data. Only figured dimensions are to be used.

**NOTES TO CONTRACTOR**

In case of reproduction errors, it is advised not to scale from the drawing. This drawing has been produced for the primary purpose of obtaining local authority approvals. If being used for coating purposes, it must be regarded as a guide only, as it may not show or specify all the works, materials, fittings, or finishes required or expected to be incorporated.

It is the contractor's responsibility to check on site all measurements and existing information shown on these drawings.

**DEMOLITION / DOWNTAKINGS**

The Contractor shall carry out the works in accordance with BS6187:2011 Code of practice for full and partial demolition. The responsibility for temporary supports, maintenance of existing services where appropriate, safety and complying with the requirements of various authorities (HSE & Local Authority) shall remain with the Contractor.

A current and appropriate demolition/refurbishment Asbestos survey report should be carried out for the property. This must be issued to the Contractor prior to any works commencing.

**\*\*IMPORTANT\*\* EXISTING FOUNDATION INSPECTION**

Well in advance of the construction phase site start and prior to ordering any materials the existing building foundations must be inspected. Trial holes should be excavated at the existing and proposed building interfaces to fully expose the existing building foundations below ground level and supporting photographs.

Outwith the extension footprint a trial pit should be excavated to a depth of min. 3m to check for the presence of peat. Findings of these investigations should be reported to Engineer including dimensions of foundations present, depth of foundations below ground level and supporting photographs.

Should poor ground conditions, very deep, piled or raft foundations be observed the engineer should be advised immediately. Dependent on findings, formal ground investigation boreholes together with re-design of the current foundation and ground floor proposals may be required. In due course an amendment to warrant and an updated SER Certificate may also be required. Accordingly sufficient time should be allowed for any re-design of the foundation and sub-structure proposals.

**STRIP & PAD FOUNDATIONS**

1. GENERAL  
a. This drawing to be read in conjunction with the National Structural Concrete Specification 4th Edition (NSCS) and all other relevant drawings & specifications issued by the Architect & Engineer.

b. All levels and dimensions to be checked on site and verified against the Architect's drawings. Any discrepancies should be reported to the Engineer.  
c. For details of insulation, DPM's, DPC's, setting out, etc. refer to the Architect's drawings.

d. For location & details of gullies, pop-ups, incoming services, etc. refer to the Architect's and M&E drawings.

2. SETTING OUT  
a. All columns to be centered on pad foundations unless noted otherwise. All strip foundations to be centered on overall wall width unless noted otherwise.  
b. Minimum depth to top of foundation below final ground level to be 450mm, unless noted otherwise.

3. MATERIALS  
a. Pad & strip foundations concrete to be designated mix RC35 (C28/35) to BS EN 206.  
b. Trenchfill concrete if required to be designated mix GEN3 (C16/20) to BS EN 206.  
c. Blinding concrete to be designated mix GEN3 (C16/20) to BS EN 206, 50mm thick below all reinforced foundations.

d. For buried concrete the Design sulphate class is DS-1 and the Aggressive Environment for Concrete is AC-1.  
e. Reinforcement denoted 'h' to be high yield grade 500 to BS4449:2005. All mesh to be high yield to BS4843. Lap lengths to mesh reinforcement to be 450mm minimum.

4. FOUNDATION DESIGN DATA  
a. Foundations have been designed based on limited information obtained on the BGS Geotitles. Further advance trial pits must be carried out. Refer to the boxed foundation inspection notes.

5. FOUNDATION FORMATIONS  
a. Foundations have been designed based on an allowable bearing capacity of 75kN/m<sup>2</sup>. Formation for foundations to be on/n/ the natural firm SANDY CLAY. Provide trench fill concrete below the strip foundations down to this strata if required.  
b. Any soft spots or hard spots encountered to be excavated out and infilled with GEN3 (C16/20) mass concrete.

6. INSPECTION REQUIREMENTS  
a. All formations shall be inspected by the Engineer prior to pouring any concrete. Allow 72 hrs notice.  
7. FINISHES  
a. Formed (shuttered) finishes: Basic foundation sides.  
b. Unformed finishes: Trowelled foundation top surface.

**TIMBER FRAME HOLDING DOWN STRAPS**

Timber frame holding down straps type ETFS by Simpson Strong-tie or equal approved built into outerleaf masonry and fixed to timber frame with 6m. 3.35x50mm stainless steel annular ring shank nuts (fill all round holes). Straps provided at 1800mm centres, either side of openings and as close to all external corners as possible.

**BELOW DPC BLOCKWORK & MORTAR**

All blockwork below DPC level to be solid block with no voids to BS EN 771-3. Minimum compressive strength of 7.3N/mm<sup>2</sup>. Minimum density 1700kg/m<sup>3</sup>. All mortar below DPC level to be designation (1), 1:3 masonry cement-sand. No additives will be permitted without the prior approval of the Engineer. All loadbearing masonry to be constructed in accordance with BS 6328-3: Code of practice for the use of masonry - Materials and components, design and workmanship.

**GROUND BEARING CONCRETE FLOOR SLAB**

1. GENERAL  
This drawing to be read in conjunction with the National Structural Concrete Specification 4th Edition (NSCS) and all other relevant drawings & specifications issued by the Architect & Engineer.

b. All levels and dimensions to be checked on site and verified against the Architect's drawings. Any discrepancies should be reported to the Engineer.  
c. For details of floor finishes, insulation, DPM's, DPC's, setting out, etc. refer to the Architect's drawings.  
d. For location & details of gullies, pop-ups, incoming services, etc. refer to the Architect's and M&E drawings.

2. MATERIALS  
a. Concrete to be designated mix RC35 (C28/35) to BS EN 206  
b. Reinforcement denoted 'h' to be high yield grade 500 to BS4449:2005. All mesh to be high yield to BS4843. Lap lengths to mesh reinforcement to be 450mm minimum.  
c. Slab sub-base to be Type 1, Clause 803 to the Specification for Highway Works.

3. FINISHES  
a. Slab finish requirements to be agreed in advance with client, Architect & Engineer. As a minimum trowelled finishes are required where a screed or timber battens/slipboard overlay is being placed and power floated finishes are required where the concrete slab is left exposed.

b. Surface tolerance to be in accordance with the NSCS, standard specification, section 10. All points on the slab within +/-10mm of each datum. Maximum deviation between two points 6m apart 15mm. Deviation under a 3m straight edge to be less than 10mm.  
c. Minimum 150mm slab thickness to be achieved.

4. PERFORMANCE SPECIFICATION  
a. The Contractor may propose and take full design responsibility for an alternative floor joint and slab reinforcement design. This should be submitted to the Engineer for approval 4 weeks prior to construction.

**WALL TIES**

Wall ties shall be stainless steel and shall conform to BS EN 845-1. Wall ties shall be shot blasted to Swedish standard SA2.5 BS EN ISO 8501-1: 2001 after fabrication. Show applied corrosion protection of steelwork to be Sherwin-Williams (elph's Points) or equal approved.

**MASONRY CAVITY WALL**

Ancon Staffix wall ties RT2 (Type 2) O.E.A. at 900mm horizontal and 450mm vertical centres in a staggered pattern (not less than 2.5 ties per square metre and 3-4 ties per metre at unbonded edges). Ties should be evenly distributed over the wall area, except around openings. At vertical edges of an opening and unreturned or unbonded edges additional ties should be provided at a rate of one per 225/300mm height, located not more than 225mm from the edge.

210 THICK BLOCKWORK - COLLAR JOINTED (100+100)  
Ancon wall ties type SPS CJ O.E.A. at 900mm horizontal and 450mm vertical centres in a staggered pattern (not less than 2.5 ties per square metre). Ties should be evenly distributed over the wall area.

**TIMBER FRAME CAVITY WALL (ABOVE SOLE PLATE)**

Ancon Staffix wall ties ST6 (Type 6) O.E.A. Ties provided at 600mm horizontal and 225mm vertical centres in a staggered pattern (not less than 4.4 ties per square metre and 3-4 ties per metre at unbonded edges). Ties should be evenly distributed over the wall area, except around openings. At vertical edges of an opening and unreturned or unbonded edges additional ties should be provided at a rate of one per 225/300mm height, located not more than 225mm from the edge.

**MOVEMENT JOINTS - EXTERNAL LEAF MASONRY**

Ancon wall ties type PPS (225mm) with debonding sleeves O.E.A. at 450mm vertical centres in the wall plane. Provide cavity wall ties, 225mm horizontal centres each side of the joint at 450mm vertical centres. Joints filled with Hydrocel by Fosroc O.E.A. and sealed with mastic. As a minimum movement joints in brickwork walls should be at max. 12m centres and max. 1.5m (preferably less) from corners with a 12mm joint width. As a minimum movement joints in blockwork walls should be at max. 6m centres and max. 1.5m (preferably less) from corners with a 10mm joint width. Movement joints must also be provided:

- At junctions of dissimilar materials.
- At changes in wall panel height or thickness.
- At changes in vertical loading.
- At return angles in L, T and U shaped masonry panels.
- At chases, recesses or openings.
- To coincide with movement joints in other parts of the construction.

Refer to Architect's drawings for final locations. Final positions to be agreed with the Architect, the Engineer and reviewed against the brickwork & blockwork manufacturer's recommendations for movement joint locations/control.

**U/ SER CERTIFICATION - IMPORTANT NOTE RE: POST WARRANT APPLICATION DESIGN CHANGE 11**

The SER Certificate prepared for this project is based on the design/drawings submitted by the Architect, or others, with the original Building Warrant application. Any subsequent changes to the submitted design/drawings on which the SER certificate is based are not covered by the Certificate and may require an amendment to Warrant and a new SER Certificate. Accordingly those responsible for issuing any revised warrant drawings or Construction issue drawings must ensure the Engineer is informed of any changes to the design/drawings. Reliance on the Building Warrant Officer in determining when an amendment to warrant or new SER Certificate is required is not acceptable.

**BELOW DPC BLOCKWORK & MORTAR**

All blockwork below DPC level to be solid block with no voids to BS EN 771-3. Minimum compressive strength of 7.3N/mm<sup>2</sup>. Minimum density 1700kg/m<sup>3</sup>. All mortar below DPC level to be designation (1), 1:3 masonry cement-sand. No additives will be permitted without the prior approval of the Engineer. All loadbearing masonry to be constructed in accordance with BS 6328-3: Code of practice for the use of masonry - Materials and components, design and workmanship.

**STRUCTURAL STEELWORK**

1. GENERAL  
a. All steelwork to comply with the National Structural Steelwork Specification for building construction 6th Edition published by BCSA/SCS.  
b. This drawing to be read in conjunction with all other relevant drawings, notes and specifications issued by the Engineer, Architect, and Services Engineer.

2. ERECTION  
a. The steelwork Contractor is responsible for design, fabrication, erection and removal of all necessary temporary bracing and support required to provide stability to the steel frame or any part of the frame during construction. Lifting points, and temporary handrail supports are to be provided as necessary to steel members to suit erection and safe working practice procedures.

3. CE MARKING  
a. ALL STEELWORK TO BE CE MARKED AND THE FABRICATION CERTIFICATE MUST BE SUBMITTED TO BUILDING STANDARDS.  
b. Consequence Class - CC2  
c. Service Category - SC1  
d. Production Category - PC1 & PC2  
e. Execution Class - EX2

4. SITE SURVEY & FABRICATION DRAWINGS  
a. All steel size to be site checked prior to fabrication.  
b. Steelwork contractor is to submit fabrication (shop) drawings, two weeks prior to commencing fabrication, for review and comment by the engineer and architect

5. MATERIALS  
a. All steelwork for plates, flats, UB & UC steel to be grade S355JR Internal and S355D External to BS EN 10028  
b. All steelwork for hollow sections to be grade S355J2H Internal and external to BS EN 10210.  
c. All bolted connections to be formed with grade 8.8 bolts to BS EN ISO 898. All connection bolts to be hot spun galvanized. All washers to BS4320.

6. FINISHES (CORROSION PROTECTION)  
a. All steelwork to be shot blasted to Swedish standard SA2.5 BS EN ISO 8501-1: 2001 after fabrication.  
b. Show applied corrosion protection of steelwork to be Sherwin-Williams (elph's Points) or equal approved.

7. TYPE 1: Internal dry environment (C1 cover to BS EN ISO 12944) Primer/Buldoct: EPICPR C400V3 Zinc Phosphate 275 microns d.p.t.

Type 2: damp environment, steelwork in cavity wall & garage (C2 to BS EN ISO 12944) Primer/Buldoct: EPICPR C400V3 Zinc Phosphate 125 microns d.p.t.

Type 4: Externally exposed (RHs & btm. plate) Hot dip galvanised in accordance with BS EN ISO 1461 to a nominal thickness of 140 microns. Prior to painting, galvanized surfaces to be passivated with a special etch primer.

Final point specification to be submitted to the Engineer/Architect for approval. Compatible undercoat and finish coats to Architect's specification.

c. Steelwork encased in masonry - Apply d.f.t. 175 microns coat of bitumen mastic to steelwork.  
d. All steelwork, baseplate and holding down bolts below ground floor slab level to be encased in designated mix RC35 reinforced concrete with D49 wrapping mesh. Minimum 100mm cover to steelwork.

e. All areas of pointwork damaged in transit and during erection to be cleaned, prepared and made good after erection.

7. FIRE PROTECTION  
a. Refer to the Architect for details. Intumescent paint should be compatible with the corrosion protection paintwork.

8. STEELWORK CONNECTIONS  
a. All steelwork connections to be designed in accordance with BS 5950:Pt1:2000 by the steelwork contractor, where not specified/detailed by the Engineer.  
b. Steel member end reactions shown on drawings are ultimate and in kN and kNm.

c. Steelwork contractor is to submit design calculations, shop drawings, and welding procedures two weeks prior to commencing fabrication.  
d. Gusset/End plate minimum thickness 10mm.  
e. Minimum bolt diameter is 20mm for connections  
f. Minimum 2 - bolt connection for bracing. Minimum 4 - bolt connection for beams.  
g. All welding to be in accordance with BS EN 1011. Minimum weld size to be 6mm.  
h. All return angles in L, T and U shaped masonry panels. All connections designed to resist a shear load shall also resist an equivalent tension load acting on its own.  
i. Where member loads/end reactions are not specified and connections are to be designed for a shear or tension load of 75kN.

Rev	Description	Date

**BUILDING WARRANT**

Client  
Prestwick Civic Pride Partnership

Project  
Freeman's Hall  
Prestwick

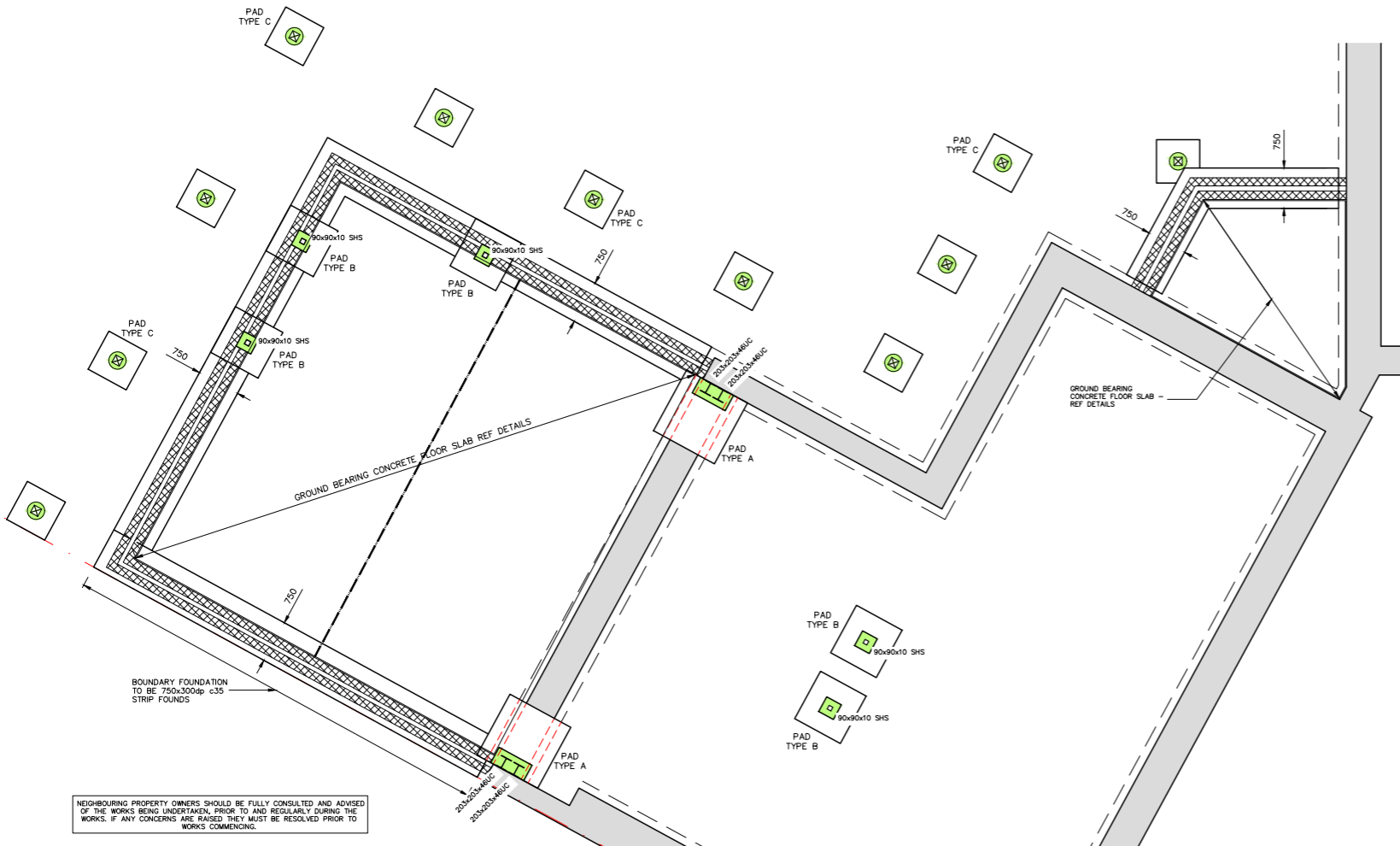
Drawing Title  
Structural Works  
Sheet 1 of 5

Date	Scale	Size	Drawn	Checked
Nov 23	As shown	A1	BL	N.M.C.C



Mission Hall, 2A Wainston Road, Prestwick, Ayrshire, KA9 2AA  
01292 737224  
info@mccolm-design.com  
www.mccolm-design.com

Drawing No: 5772.ODB.001



**FOUNDATION & SUB-STRUCTURE LEGEND:**

EXISTING WALLS, UNDERBUILDING AND FOUNDATIONS FULLY RETAINED. DASHED LINE INDICATES ASSUMED EXISTING FOUNDATION SCARPMENT. TBC. INTERNAL DWARF WALL POSITIONS SHOWN ARE ASSUMED ONLY AND TO BE CONFIRMED.

AT ALL EXISTING / PROPOSED STRIP & PAD FOUNDATION INTERFACES PROVIDE H16 DOWEL BARS x 350mm Lg AT 250mm C/S. (150mm EMBEDMENT) SET IN H/LTY H15-150 RESIN GROUT. SEE DETAIL.

STRIP FOUNDATIONS AND DENSE BLOCKWORK UNDERBUILDING STRIP FOUNDATIONS TO BE RC35 CONCRETE. PLAN DIMENSIONS x 200mm DEEP WITH A252 MESH BTM. (40mm COVER). REFER TO NOTES AND DETAILS.

PAD TYPE A  
1200 x 1200 x 450mm DEEP RC35 CONCRETE PAD FOUNDATION WITH 2 LAYERS A393 MESH BOTTOM & 1 LAYER A393 MESH TOP (40mm COVER). PAD OVERSIZED AS REQUIRED TO LINE THROUGH WITH TE-IN STRIP FOUNDATIONS. STRIP FOUNDATION MESH SHOULD LAP INTO THE PAD FOUNDATION.

PAD TYPE B  
900 x 900 x 350mm DEEP RC35 CONCRETE PAD FOUNDATION WITH 2 LAYERS A393 MESH BOTTOM & 1 LAYER A393 MESH TOP (40mm COVER). PAD OVERSIZED AS REQUIRED TO LINE THROUGH WITH TE-IN STRIP FOUNDATIONS. STRIP FOUNDATION MESH SHOULD LAP INTO THE PAD FOUNDATION.

PAD TYPE C  
TIMBER POST PAD FOUNDATION TO BE 750mm MIN. SQ. x 250mm DEEP RC35 CONCRETE PAD FOUNDATION WITH A393 MESH TOP & BOTTOM.

CIRCULAR SHAPED GREEN SHADED HATCH ON PLAN DENOTES CIRCULAR CONCRETE UPSTAND FOR FIXING ELEVATED TIMBER POST BASE BRACKETS DOWN INTO ABOVE GROUND LEVEL. (TO PREVENT POST END ROT). REFER TO DETAILS.

100X100 C24 TANALISED TIMBER POST  
ELEVATED POST BASE CONNECTOR TYPE PBH120 (GALVANISED) BY SIMPSON STRONG-TIE O.E.A. BASE FIXINGS: 4 No. POST DRILLED M12 S.S. RESIN ANCHORS WITH 125mm EMBEDMENT. POST FIXINGS: 4 No. M8 S.S. THREADED BOLTS OR DOWELS. 10mm NON-SHRINK CEMENTITIOUS GROUT TO U/S OF BASEPLATE.

DRAINAGE PIPE SHUTTER EXTENDS BEYOND TOP OF FOUNDATION TO ALLOW MIN. 75mm (GRADE RC30) CONCRETE ENCLOSURE TO BASEPLATE AND BOLTS FOLLOWING INSTALLATION.

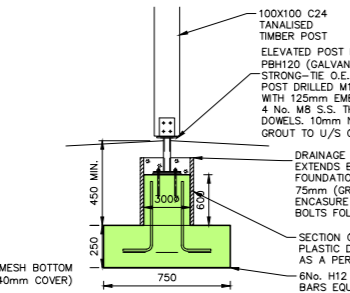
SECTION OF 300mm DIA. PLASTIC DRAINAGE PIPE ACTING AS A PERMANENT SHUTTER

6No. h12 L-SHAPED STARTER BARS EQUAL SPACED.

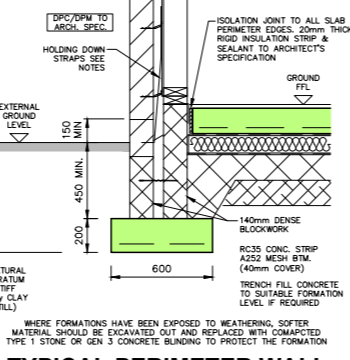
THE EXTENSION FOOTPRINT SHOWN ON THIS DRAWING IS INDICATIVE ONLY AND SHOULD NOT BE USED FOR ACTUAL SETTING OUT AND CONSTRUCTION ON SITE. REFER TO THE ARCHITECT'S DRAWINGS FOR DETAILS OF D.P.C., D.P.M., FLOOR FINISHES, INSULATION, EXTENT OF FACING MASONRY, MOVEMENT JOINTS ETC.

**EXTENSION FOUNDATION & SUB-STRUCTURE PLAN**  
1:50

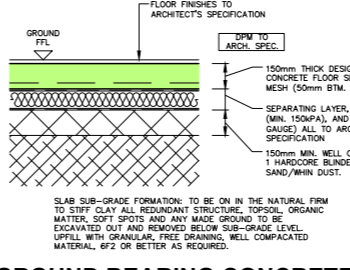
**TIMBER POST BASE DETAIL**  
1:20



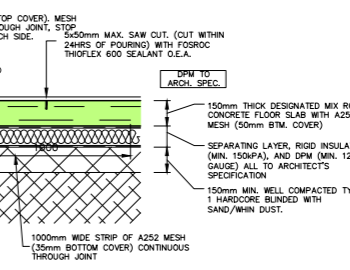
**TYPICAL PERIMETER WALL STRIP FOUNDATION SECTION**  
1:20



**GROUND BEARING CONCRETE FLOOR SLAB CONSTRUCTION**  
1:20



**INDUCED TIED SLAB JOINT**  
1:20





**SLAPPING LEGEND:**

REF.	WALL MAKE-UP (TBC)	LINTELS
A	500mm MASONRY TBC	2No. 20x20x362 UC S355 3No. SPACING FERRULES AS SHOWN ON PLAN
B=C	400mm MASONRY TBC	L1 - MULTIPLE ROBELEE TYPE 'C' LINTELS. No. LINTELS PER 120mm MASONRY SUPPORTED ABOVE. OUTER LEAF MAKE-UP TBC

EXISTING WALL MAKE-UPS SHOULD BE VERIFIED ON SITE BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS. ALL SLAPPING BEAMS OR LINTELS TO HAVE MINIMUM 150mm END BEARING IN PLANE AND 100mm PERPENDICULAR WHERE NOT SUPPORTED ON A STEEL COLUMN OR POST.

SLAPPING LINTEL BEARINGS REPLACE & RE-POINT EXISTING MASONRY AT LINTEL END BEARINGS IF REQUIRED. CONTACT THE ENGINEER FOR ADDITIONAL SPECIFICATIONS AND ADVICE IF NEEDED.

**TEMPORARY WORKS / SLAPPING SEQUENCE**

ALL TEMPORARY WORKS ARE THE CONTRACTOR'S RESPONSIBILITY. SUGGESTED SLAPPING SEQUENCE:

- A - INSTALL DEAD SHORES / PROP. FLOOR, WALL & ROOF
- B - CAREFULLY CUT WALL AND FIT NEW LINTELS
- C - PACK GAP BETWEEN TOP OF LINTELS AND 1/2 WALL WITH SLATE WEDGES AND DRY PACK MORTAR WELL RAKED IN.
- D - MAKE GOOD WALL AND PROP UNTIL CURED.
- E - REMOVE PROPS MAKING GOOD AS REQUIRED.

**CONTRACTOR DESIGNED TEMPORARY WORKS**

ALLOWANCE TO BE MADE FOR A MIN. OF 150x150x30 UC NEEDELE BEAMS AT MAX. 600mm CRS SUPPORTED ON SLAB SHORES OR PROPS LOAD RATED FOR 35KN. CONTRACTOR TO ENSURE FULL LOAD TRANSFER AND SUFFICIENT PACKING BELOW NEEDLES PRIOR TO REMOVAL OF TEMPORARY WORKS.

ALL PROPS TO BE SUPPORTED ON TEMPORARY CONC. PAD FOOTINGS OR SPREADER BEAMS ON THE EXISTING GROUND FLOOR SLAB TO THE SATISFACTION OF THE TEMPORARY WORKS ENGINEER. ALL PROPS TO BE BRACED IN CROSS SECTION AND LONGITUDINALLY. CONTRACTOR TO TAKE NOTE OF THE WEIGHT OF THE PROPOSED LINTELS AND ALLOW FOR SUFFICIENT LIFTING CAPACITY.

**NOTES:** PRE & POST WORKS RECORD PHOTOGRAPHS SHOULD BE RECORDED. THE POTENTIAL FOR NON-STRUCTURAL, HAZARDOUS CRACKING TO OCCUR ON THE SLAPPING MASONRY CANNOT BE FULLY ELIMINATED. EVERY EFFORT SHOULD BE MADE TO AVOID THIS. PRE-LOADING OF THE SUPPORT VIA SLATE WEDGES AND DRY PACK MORTAR SHOULD BE CARRIED OUT ON AN INCREMENTAL BASIS WHEN APPLYING THE LOAD AND RELIEVING THE PROPPING.

**RE-BUILD / REPLACE LOOSE AND DISINTEGRATED SECTIONS OF EXISTING WALL**

ANY LOOSE OR DISINTEGRATED SECTIONS OF MASONRY SHOULD BE CAREFULLY RAKED OUT TO A DEPTH EQUIVALENT TO AT LEAST TWICE THE WIDTH OF THE JOINT. RAKE OUT AND RE-POINT IN AREAS NO MORE THAN SIX COURSES HIGH BY SIX STRETCHES LONG AT A TIME. BRUSH, VACUUM AND WASH RAKED JOINTS TO REMOVE DUST & DEBRIS. ENSURE THAT THE RAKED JOINTS ARE MOSTLY BEFORE RE-POINTING MORTAR IS APPLIED. ENSURE A GOOD MORTAR COMPACTION IS ACHIEVED ON RE-POINTED JOINTS. JOINTS POINTED FINISH TO MATCH EXISTING (WEATHERED). PROTECT NEWLY APPLIED MORTAR AS NECESSARY UNTIL HARDENED. RE-POINTING SHOULD BE CARRIED OUT USING MORTAR TO MATCH EXISTING WHICH ACHIEVES A DURABILITY DESIGNATION OF (ii) TO BS 5628.

**RE-POINT EXISTING WALLS**

ALL JOINTS IN THE MASONRY SHOULD BE CHECKED BY THE CONTRACTOR. ANY LOOSE MORTAR IDENTIFIED BY THE CONTRACTOR SHOULD BE CAREFULLY RAKED OUT TO A DEPTH EQUIVALENT TO AT LEAST TWICE THE WIDTH OF THE JOINT. RAKE OUT AND RE-POINT IN AREAS NO MORE THAN SIX COURSES HIGH BY SIX STRETCHES LONG AT A TIME. BRUSH, VACUUM AND WASH RAKED JOINTS TO REMOVE DUST & DEBRIS. ENSURE THAT THE RAKED JOINTS ARE MOSTLY BEFORE RE-POINTING MORTAR IS APPLIED. ENSURE A GOOD MORTAR COMPACTION IS ACHIEVED ON RE-POINTED JOINTS. JOINTS POINTED FINISH TO MATCH EXISTING (WEATHERED). PROTECT NEWLY APPLIED MORTAR AS NECESSARY UNTIL HARDENED. RE-POINTING SHOULD BE CARRIED OUT USING MORTAR TO MATCH EXISTING WHICH ACHIEVES A DURABILITY DESIGNATION OF (ii) TO BS 5628.

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**GROUND FLOOR PLAN - LINTEL LEVEL**  
1:50

**TIMBER FRAME SPECIFICATION:**

TYPE	WALL TYPE 1
AS DRAWN:	
DESCRIPTION:	Perimeter cavity wall Internal leaf
VERTICAL STUDS:	45x44 C16 @ 600mm CRS
SOLE PLATE / BTM. RAIL:	45x44 C16
SOLE PLATE FIXINGS:	10mm dia. HLT HRD-SGT 10x120 @ 600mm CRS
TOP RAIL / HEAD BRIDER / WALL PLATE:	45x44 C16
LINTELS:	See G.A. plan legends
CORPSE STUDS (EACH SIDE):	Opening < 1200mm - 1No. corpse stud Opening > 1200mm - 2No. corpse studs Opening > 2400mm - 3No. corpse studs Also see G.A. plan legends
SHEATHING:	1 layer 9.5mm exterior grade OSB (Type F2) - External face
SHEATHING FIXINGS:	3.1 dia. x 50mm galv'd wire nails at 150mm CRS on perimeter, 300mm CRS to internal studs and 150mm CRS around openings.

**NOTES:** The Contractor / Specialist Frame Manufacturer shall allow for all necessary connections, fittings and ancillary items associated with the timber frame construction.

The Contractor / Specialist Frame Manufacturer shall refer to the Architect for design co-ordination requirements including, but not limited to, plan setting out, vertical levels, services co-ordination, clear window and door openings, sound and thermal insulation, moisture and water resistance, etc.

**NAILING SCHEDULE MINIMUM REQUIREMENTS**

ITEM	RECOMMENDED FIXING
<b>WALL PANELS / ROOF FRAMING</b>	
Top rail of panels to head binders	Top of individual wall panel members linked by member continuous across panel joints secured with 4.0 x 90mm galvanised wire nails, 2 nails between stud centres.
Sole plate to ring beam/joist	4.0 x 90mm galvanised wire nails, 2 nails between stud CRS.
Bottom rail to sole plate	4.0 x 90mm galvanised wire nails, 2 nails between stud CRS.
Wall panel stud to wall panel stud	4.0 x 90mm galvanised wire nails at 600mm CRS each side staggered.
Header plate to intermediate floor	4.0mm x 90mm galvanised wire nails at 300mm centres. Nails skewed externally through ribboard into headbinder and internally skewed through the headbinder into the joists.
Sheathing to perimeter studs	3.1mm x 50/65mm galv'd wire nails at 150mm CRS.
Intermediate studs to sheathing	3.1mm x 50/65mm galv'd wire nails at twice perimeter CRS.
Top and bottom rails to studs	2 no. 4.0mm x 90mm nails fixed.
Multi-corpse studs should be secured to each other with 3.1mm x 90mm galvanised ring/nail at 400mm centres, staggered mid distance between edge and centreline, with no nail closer than 60mm to end of studs.	
Lintels / doubled up members should be secured to each other with 3.1mm x 75mm galvanised screws or 3.1mm x 75mm galvanised ring shank nails at 300mm centres, staggered mid distance between edge and centreline, with no screw closer than 60mm to end of lintel / doubled up member.	
Full depth deangs	3No. 4.0mm x 90mm galv'd wire nails, face skew nailed, each end.
Proprietary metal joint hangers, connectors, clips, straps, etc.	Fully nailed to achieve maximum capacity in accordance with the manufacturer's guidance. Use square twist nails where required.

**GROUND FLOOR LEGEND:**

- DENOTES EXISTING WALLS TO BE RETAINED
- DENOTES EXTENSION OUTER-LEAF STONE REFER TO ARCHITECT'S DRAWINGS FOR DETAILS
- DENOTES TIMBER WALL TYPE 1, 140mm KIT (INNER-LEAF) - SEE TIMBER FRAME SPECIFICATION.
- DENOTES TIMBER PARTITIONS TO THE ARCHITECT'S SPECIFICATION. WHERE PARTITIONS RUN PARALLEL TO/BETWEEN ROOF TRUSS CEILING TIES & FIRST FLOOR JOISTS ABOVE/BELOW, PROVIDE FULL DEPTH DWANGS BETWEEN CEILING TIES & FIRST FLOOR JOISTS AT 600MM CENTRES. REFER TIMBER PARTITION HEAD DETAILS ALSO.
- DENOTES WALLS TO BE REMOVED
- DENOTES 145x145mm C24 TANALISED (USE CLASS 4) TIMBER POSTS.
- EXISTING / PROPOSED WALL INTERFACES:
- MASONRY TO MASONRY: ANCON 36/8 WALL STARTER CHANNEL SYSTEM WITH 100% FLAT WALL TIES WITH DERONING SLEEVES AT 225mm VERTICAL CRS. ALL OR EQUAL APPROVED CHANNEL FIXED TO EXISTING WALL WITH PROVIDED FLUG & SCREW FIXINGS.
- TIMBER FRAME TO MASONRY: FIXED WITH 10mm DI. DILTI HRD-U 14x140 PLASTIC ANCHORS @ 600mm VERTICAL CRS.
- DENOTES ROBELEE TYPE 'C' PS PC CONC LINTEL WITH 150mm MINIMUM END BEARINGS EITHER SIDE.
- TIMBER FRAME LINTELS (145mm KIT) - 3/45x220 C24 (SPKED TOGETHER) + 5mm OSB PACKER. SEE TIMBER FRAME SPEC.
- TIMBER FRAME FLUSH BEAM (145mm KIT) - 3/44x195 C24 WITH 2NO. 18x8 STEEL PLATE REFER TO DETAILS
- DENOTES CONCRETE PADSTONES TO BE INSTALLED WITHIN EXISTING MASONRY. PADSTONES TO BE SOLID CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 40N/mm². PS MIN. DIMENSIONS - 440 Tg x 150 x 215mm @.
- VERTICAL MOVEMENT JOINTS IN EXTERNAL LEAF MASONRY: REFER TO MOVEMENT JOINT DETAIL. POSITIONS SHOWN ARE INDICATIVE ONLY. FINAL POSITIONS TO BE AGREED WITH THE ARCHITECT
- DENOTES INDICATIVE LAYOUT AND SPAN OF NEW CONTRACTOR DESIGNED ATIC TRUSSES (STORAGE).
- DENOTES INDICATIVE LAYOUT AND SPAN OF NEW CONTRACTOR DESIGNED ATIC TRUSSES (STORAGE).
- ALL NEW TIMBER U.N.O. TO BE GRADE C16 U.N.O. TO BS EN 338 / BS5268: Part 2 and all other relevant British Standards. Service moisture content not to exceed 18%. All timber to be FSC/PEFC accredited. All timber to be treated with an organic solvent preservative to BS5268: Part 5 by double vacuum or pressure process. All cut ends to have two brush coats applied.

**GENERAL NOTES:**

This drawing to be read in conjunction with all other relevant drawings, notes and specifications issued by the Engineer and Architect.

All dimensions to be checked on site and the Engineer & Architect notified of any discrepancies prior to commencement of work. All dimension are in millimeters (U.N.O.). Do not scale from this drawing or the computer digital data. Only figured dimensions are to be used.

**NOTES TO CONTRACTOR:**

In case of reproduction errors, it is advised not to scale from the drawing. This drawing has been produced for the primary purpose of obtaining local authority approvals. If being used for costing purposes, it must be regarded as a guide only, as it may not show or specify all the works, materials, fittings, or finishes required or expected to be incorporated.

It is the contractor's responsibility to check on site all measurements and existing information shown on these drawings.

**DEMOLITION / DOWN TAKINGS**

The Contractor shall carry out the works in accordance with BS6187:2011 Code of practice for full and partial demolition. The responsibility for temporary supports, maintenance of existing services where appropriate, safety and complying with the requirements of various authorities (HSE & Local Authority) shall remain with the Contractor.

A current and appropriate demolition/refurbishment Asbestos survey report should be carried out for the property. This must be issued to the Contractor prior to any works commencing.

**ABOVE DPC BRICKWORK & MORTAR**

All clay brickwork above DPC level must be durable and frost-resistant F2, S2 to BS EN 771-1. Minimum compressive strength of 15N/mm². Minimum density of 1500kg/m³. All mortar above DPC level to be designation (i). Consideration of the use of mortar designation (ii) to be discussed with mortar & brick supplier. Review of similar sites nearby should be carried out to assess the pros/cons of a stronger mortar providing better resistance to water penetration, but less resistance to differential movement. No additives will be permitted without the prior approval of the Engineer. All loadbearing masonry to be constructed in accordance with BS 6328-3. Code of practice for the use of masonry - Materials and components, design and workmanship.

**TIMBER**

All new timber U.N.O. to be Grade C16 U.N.O. TO BS EN 338 / BS5268: Part 2 and all other relevant British Standards. Service moisture content not to exceed 18%. All timber to be FSC/PEFC accredited. All timber to be treated with an organic solvent preservative to BS5268: Part 5 by double vacuum or pressure process. All cut ends to have two brush coats applied.

**CONNECTORS FOR TIMBER**

To be in accordance with BS EN 845-1: Specification for ancillary components for masonry. Connections to be by SIMPSON Strong-Tie or equal approved. All connectors should be installed in strict accordance with the manufacturer's instructions using all specified fixings to achieve the maximum loading capacity.

**WINDOWS STRUCTURAL DESIGN - GLAZING OVER 2.0m²**

- All windows (incl. fixings) greater than 2.0m² shall be designed by an approved specialist/sub-contractor and shall meet the requirements of BS 6328-1: 2015 Performance of Windows and Doors, minimum Class A3, P3.
- All windows, patio doors, bi-fold doors and fixings (including all transoms & Mullions) greater than 2.0m² shall be designed by an approved specialist by the Engineer. /sub-contractor and shall meet the requirements of BS 5516: Parts 1 & 2: 2004 - Patent Glazing and Sloping Glazing for Buildings.
- All doors and windows are to be designed to the following wind load data, taken from BS.6399-Part 2: Basic wind speed Vb=24.5m/s, Sa=1.0, Sd=1.0, Se=1.0, Sp=1.0
- All window and door frames shall be tied to the structure using fully screwed galvanised 27.5 x 2.5mm thick mild steel straps set at 600mm maximum vertical & horizontal centres (150mm CRS from corner) on all sides of the structural opening. No less than 3 No. straps shall be used on each side of the windows. Straps shall be screwed to the window frame and structure using 2 No. 35 x 3.5mm screws, drilled and plugged into masonry.

**USER CERTIFICATION - IMPORTANT NOTE RE: POST WARRANT APPLICATION DESIGN CHANGE II:**

The SER Certificate prepared for this project is based on the design/drawings submitted by the Architect, or others, with the original Building Warrant application. Any subsequent changes to the submitted design/drawings on which the SER certificate is based shall be covered by the Certificate and may require an amendment to Warrant and a new SER Certificate. Accordingly those responsible for issuing any revised warrant drawings or Construction Issue drawings must ensure the Engineer is informed of any changes to the design/drawings. Reliance on the Building Warrant Officer in determining when an amendment to warrant or new SER Certificate is required is not acceptable.

**Ancillary Building**

Extension in timber frame with localised elements of steel to create a cornerless glass window. A large long span gable post to support the upper gable and existing skew stones to retain the external form and maintain the character of the building.

**General Stone Repairs**

Stone repairs to be achieved by indent, replacement and at a very minimum lithomex to match the existing sandstone.

**DO NOT SCALE**  
Use figured dimensions only. If in doubt - Ask the Engineer

- STRUCTURAL STEELWORK:**
- GENERAL
  - STEELWORK TO COMPLY WITH THE NATIONAL STRUCTURAL STEELWORK SPECIFICATION FOR BUILDING CONSTRUCTION 8th Edition published by BCSA/SCI.
  - This drawing to be read in conjunction with all other relevant drawings, notes and specifications issued by the Engineer, Architect, and Services Engineer.
  - ERECTOR
    - The steelwork Contractor is responsible for design, fabrication, erection and removal of all necessary temporary bracing and support required to provide stability to the steel frame or any part of the frame during construction. Lifting points, and temporary handrail supports are to be provided as necessary to steel members to suit erection and safe working practice procedures.
  - CE MARKING
    - ALL STEELWORK TO BE CE MARKED AND THE FABRICATION CERTIFICATE MUST BE SUBMITTED TO BUILDING STANDARDS.
    - Consequence Class - C2C
    - Service Category - SC3
    - Production Category - PC1 & PC2
    - Execution Class - EX2
  - SITE SURVEY & FABRICATION DRAWINGS
    - All steel size to be site checked prior to fabrication.
    - Steelwork contractor is to submit fabrication (shop) drawings, two weeks prior to commencing fabrication, for review and comment by the engineer and architect
  - MATERIALS
    - Steelwork for plates, flats, UB & UC steel to be grade S355JR Internal and S355J0 External to BS EN 10025.
    - All steelwork for hollow sections to be grade S355J2H Internal and external to BS EN 10210.
    - All bolted connections to be formed with grade 8.8 bolts to BS EN ISO 898. All connection bolts to be hot spun galvanised. All washers to BS4320.
  - FINISHES (CORROSION PROTECTION)
    - All steelwork to be shot blasted to Swedish standard SA2.5 BS EN ISO 8501-1: 2001 after fabrication.
    - Shop applied corrosion protection of steelwork to be Sherwin-Williams (Ighite's Points) or equal approved.
- TYPE 1: Internal dry environment (C1 very low to BS EN ISO 12944) Primer/Buldcote: EPIGRIP C400V3 Zinc Phosphate @ 75 microns d.f.t.
- TYPE 2: Damp environment, steelwork in cavity wall & garage (C2 low to BS EN ISO 12944) Primer/Buldcote: EPIGRIP C400V3 Zinc Phosphate @ 125 microns d.f.t.
- TYPE 4: Externally exposed (RH & atm. plate)  
Hot dip galvanised in accordance with BS EN ISO 1461 to a nominal thickness of 140 microns. Prior to painting, galvanised surfaces to be passivated with a special etch primer.
- Final paint specification to be submitted to the Engineer/Architect for approval. Compatible undercoat and finish coats to Architect's specification.
- Steelwork encased in masonry: - Apply d.f.t. 175 microns coat of black bitumen paint to steelwork.
  - All steelwork, baseplate and holding down bolts below ground floor slab level to be formed in designated mix RC25 reinforced concrete with D49 wrapping mesh. Minimum 100mm cover to steelwork.
  - Site painting: - All areas of paintwork damaged in transit and during erection to be cleaned, prepared and made good after erection.
- FIRE PROTECTION
    - Refer to the Architect for details. Intumescent paint should be compatible with the corrosion protection paintwork.
  - STEELWORK CONNECTIONS
    - All steelwork connections to be designed in accordance with BS 5950/Pt1:2000 by the steelwork contractor, where not specified/detailed by the Engineer.
    - Steel member end reactions shown on drawings are ultimate and in kN and kNm.
    - Steelwork contractor is to submit design calculations, shop drawings, and welding procedures two weeks prior to commencing fabrication.
    - Gusset/end plate minimum thickness 10mm.
    - Minimum bolts diameter a 20mm for connections 4 - bolt connection for beams.
    - All welding to be in accordance with BS EN 1011. Minimum weld size to be 6mm.
    - All connections designed to resist a shear load shall also resist an equivalent tension load acting on its own.
    - Where member loads/end reactions are not specified and connections are to be designed for a shear or tension load of 75kN.

Rev	Description	Date
-	-	-

Status

**BUILDING WARRANT**

Client  
Prestwick Civic Pride Partnership

Project  
Freeman's Hall  
Prestwick

Drawing Title  
Structural Works  
Sheet 2 of 5  
Ancillary Building

Date	Scale	Size	Drawn	Checked
Nov 23	As shown	A1	BL	N.M.CC

Mission Hall, 2A Wainston Road, Prestwick, Ayrshire KA9 2AA

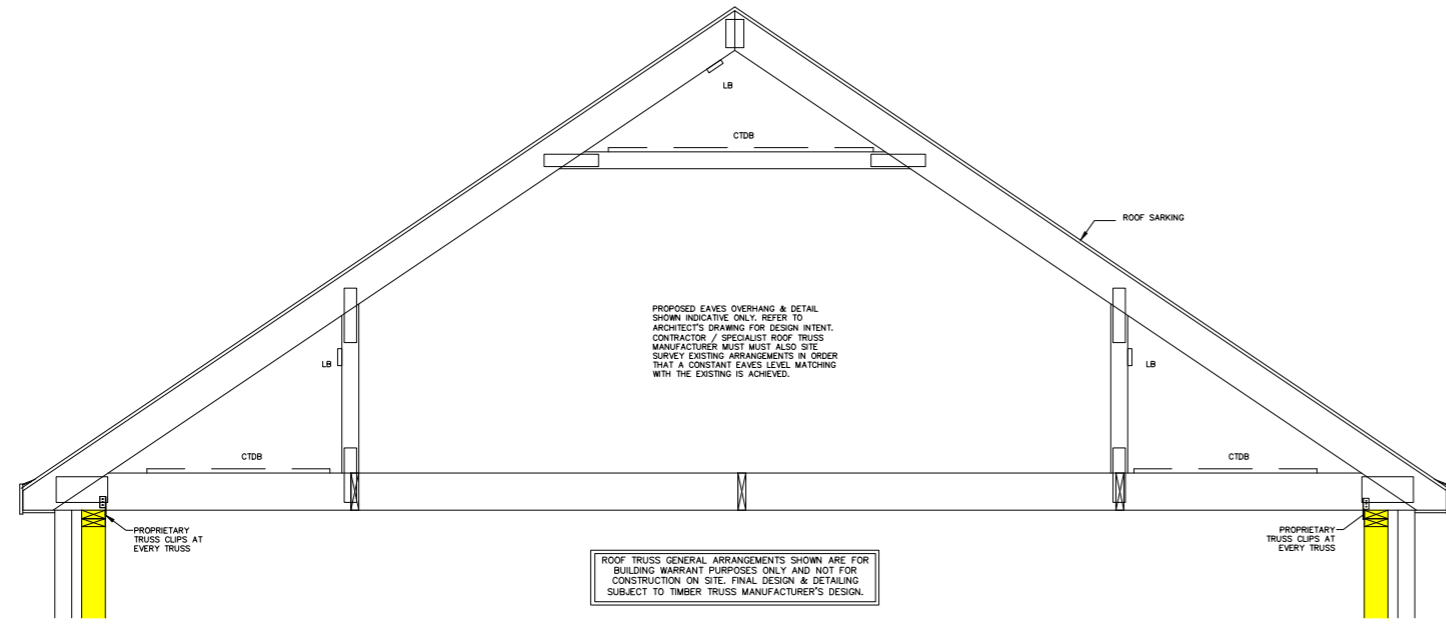
01292 732224  
info@mccolm-design.com  
www.mccolm-design.com

Drawing No: 5772.0DB 002

Rev:

- The Contractor / Specialist Roof Truss Manufacturer shall allow for all necessary connections, fittings and ancillary items associated with the roof truss construction.
- The Contractor / Specialist Roof Truss Manufacturer shall incorporate all necessary bracing required to provide adequate lateral stability in the design and shall make appropriate provisions for tying and stabilising masonry walls as indicated upon the Engineer's drawings.
- The Contractor / Specialist Roof Truss Manufacturer shall submit design calculations and drawings sufficient to justify the design to the Engineer and obtain the Engineer's comments prior to commencement of fabrication. Final drawings & calculations required in respect of the SER procedures (Schedule 1) for form G sign off.
- The Contractor / Specialist Roof Truss Manufacturer shall refer to the Architect for design co-ordination requirements including, but not limited to, setting out, vertical levels, water tank locations, services co-ordination, clear window and door openings, sound and thermal insulation, moisture and water resistance, etc.

**DO NOT SCALE**  
Use figured dimensions only. If in doubt - Ask the Engineer



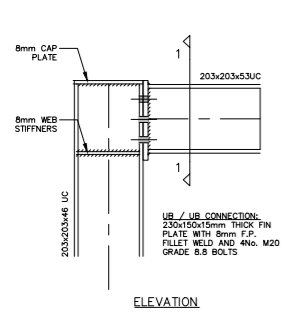
**ROOF BRACING LEGEND / REQUIREMENTS:**

- LB - LONGITUDINAL BRACING
- WCB - INT. CHORD WEB CHEVRON BRACING
- CTDB - CEILING TIE DIAGONAL BRACING

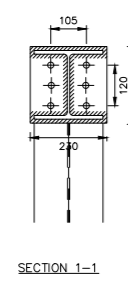
BRACING MEMBERS TO BE 25x100 C16 FIXED TO EACH TRUSS WITH 2No. 3.25dia x 75mm LONG GALVANISED WIRE NAILS. BRACING MEMBERS TO BE LAPPED OVER TWO TRUSSES WHERE SINGLE LENGTH MEMBERS ARE IMPRACTICAL.

BRACING SHOULD GENERALLY BE PROVIDED IN ACCORDANCE WITH BS5268-3 I.E. REPEATING 'X' BRACE CONFIGURATIONS THROUGHOUT. ADDITIONAL BRACING WILL BE REQUIRED BY THE SPECIALIST ROOF TRUSS SUPPLIER DURING THE ERECTION PROCESS.

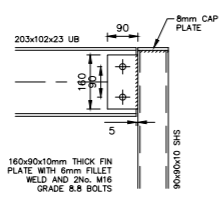
**TYPICAL TRUSS ELEVATION**  
1:50



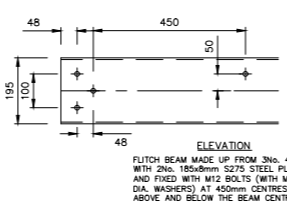
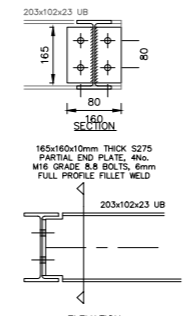
**EXTENSION GOAL POST FRAME 203 UC's**  
1:10



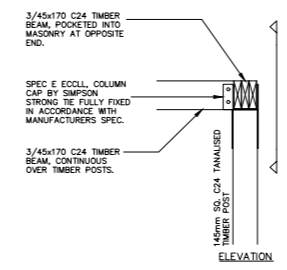
**203 UB TO 90 SHS**  
1:10



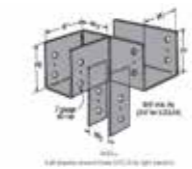
**203x102 UB TO 203x102 UB CONNECTION**  
1:10



**TF1 FLITCH BEAM**  
1:10



**END EXTERNAL TIMBER POST TO LINTELS CONNECTION**  
1:20



**SIMPSONS STRONG TIE COLUMN CAP ECCL**  
N.T.S

Rev	Description	Date

Status	<b>BUILDING WARRANT</b>	
Client	Prestwick Civic Pride Partnership	
Project	Freeman's Hall Prestwick	
Drawing Title	Structural Works Sheet 3 of 5	
Date	Scale	Size
Nov 23	As shown	A1
Drawn	Checked	
BL	N.McC	

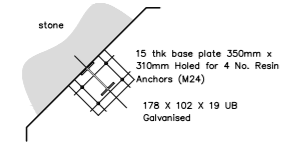
**mccolm**  
Civil & Structural Engineers

Mission Hall, 2A Waterloo Road, Prestwick Ayrshire KA9 2AA

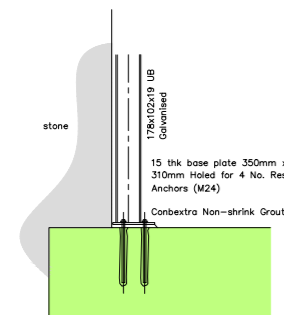
01292 737224  
info@mccolm-design.com  
www.mccolm-design.com

Drawing No: 5772.ODB 003

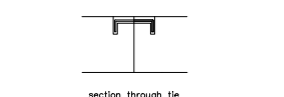
**DO NOT SCALE**  
Use figured dimensions only. If in doubt - Ask the Engineer



**PLAN ON BASEPLATE**  
1:20



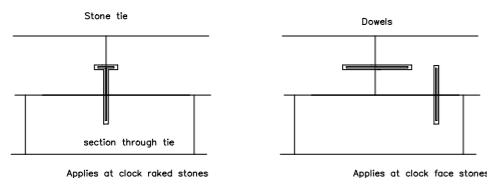
**SECTION THROUGH BASEPLATE**  
1:20



**HORIZONTAL TIE DETAIL**  
1:10

Horizontal ties utilised at all feature stones extending from the building line including replacement of existing ties.

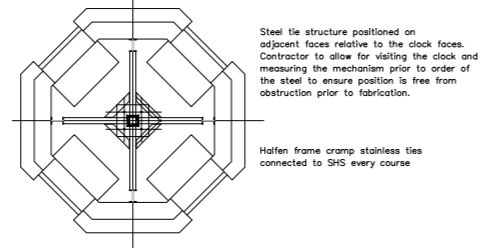
All existing steel ties to be removed and replicated with new stainless ties with resin embedment



**VERTICAL TIE DETAIL**  
1:10

Vertical ties utilised at all main stones (one on top of the other)

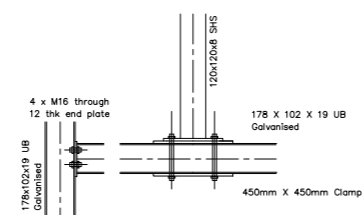
Stainless steel ties 140 M6 bespoke by HALFEN or equal and approved. The specification to be approved by structural engineer. Tie bedded into stone with fasroc resin or equal and approved.



**PLAN OVER CLOCK FACE**

Steel tie structure positioned on adjacent faces relative to the clock faces. Contractor to allow for visiting the clock and measuring the mechanism prior to order of the steel to ensure position is free from obstruction prior to fabrication.

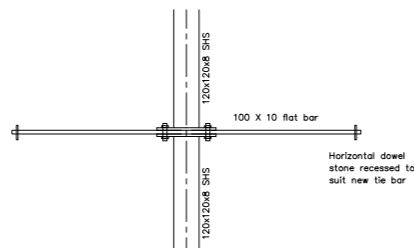
Halfen frame cramp stainless ties connected to SHS every course



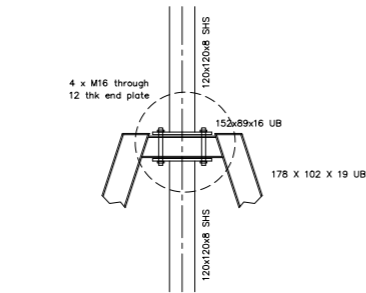
**DETAIL A**

Vertical courses to be laid prior to insertion of the steel frame to ensure correct setting out. Contractor to site size prior to fabrication

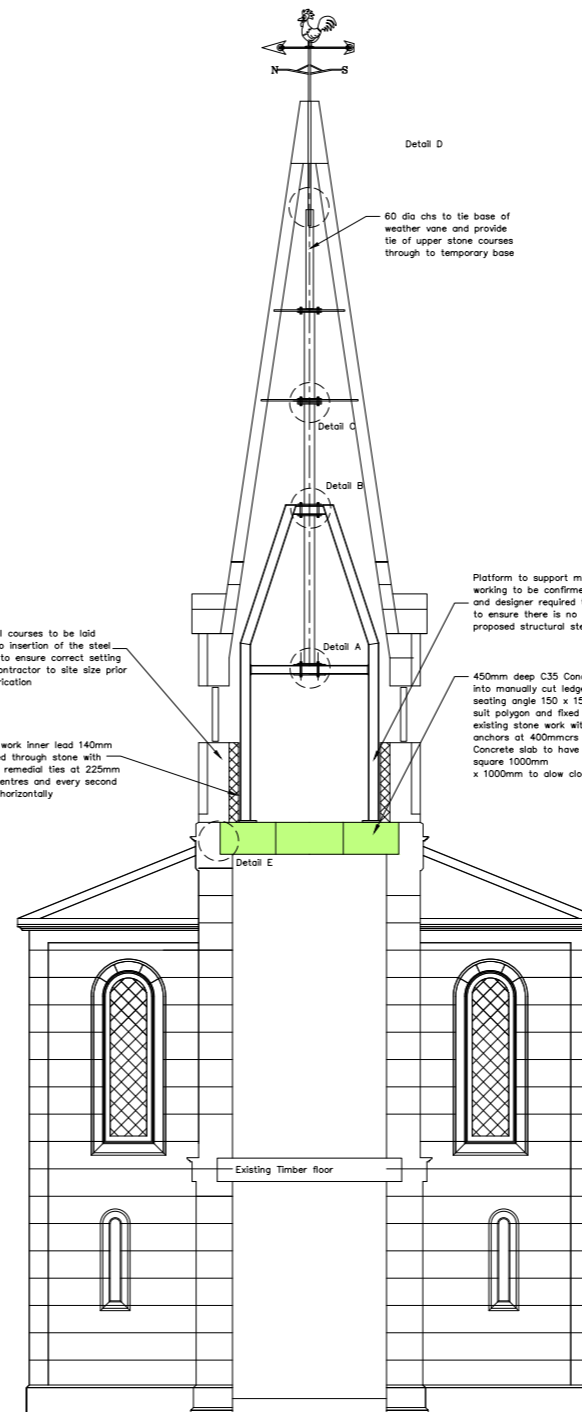
Block work inner lead 140mm 7N tied through stone with halfen remedial ties at 225mm vert centres and every second block horizontally



**DETAIL C**



**DETAIL B**



**SECTION THROUGH STEEPLE**

Detail D

60 dia chs to tie base of weather vane and provide tie of upper stone courses through to temporary base

25 stainless steel threaded rod to tie through 60 dia tube and locking nut

45 X 8 flat bar

**DETAIL D**

Platform to support mechanical clock working to be confirmed. Contractor and designer required to view clock to ensure there is no conflict with proposed structural steels.

450mm deep C35 Concrete slab cast into manually cut ledge. Allow for steel seating angle 150 x 150 x 12 shaped to suit polygon and fixed to existing stone work with M16 Resin anchors at 400mmcs Concrete slab to have shuttered access square 1000mm x 1000mm to allow clock maintenance.

H12 200mm long resin dowel at 200mm crs

**DETAIL E**

Break out stone to provide minimum 100mm bearing. Alternatively the contractor to allow for a 150 x 150 EA bolted to the stone with M16 Resin anchors at 300mm crs

**Option 1 & 3: Rebuild**

The steeple to be reinstated in stone with internal steel anchor frame tied down to a concrete base. The utilisation of steel support allows the stone to take a thinner construction and ensures stability in the wind indefinitely. Any future stone repairs can be carried out without affecting the overall integrity of the structure.

**General Stone Repairs**

Stone repairs to be achieved by indent, replacement and at a very minimum lithomex to match the existing sandstone.

**STRUCTURAL STEELWORK**

- GENERAL**
  - All steelwork to comply with the National Structural Steelwork Specification for building construction 6th Edition published by BCSA/SCI.
  - This drawing to be read in conjunction with all other relevant drawings, notes and specifications issued by the Engineer, Architect, and Services Engineer.
- ERECTION**
  - The steelwork Contractor is responsible for design, fabrication, erection and removal of all necessary temporary bracing and support required to provide stability to the steel frame or any part of the frame during construction. Lifting points, and temporary handrail supports are to be provided as necessary to steel members to suit erection and safe working practice procedures.
- CE MARKING**
  - ALL STEELWORK TO BE CE MARKED AND THE FABRICATION CERTIFICATE MUST BE SUBMITTED TO BUILDING STANDARDS.
  - Consequence Class - CC2
  - Service Category - SC1
  - Production Category - PC1 & PC2
  - Execution Class - EX2
- SITE SURVEY & FABRICATION DRAWINGS**
  - All steel size to be site checked prior to fabrication.
  - Steelwork contractor is to submit fabrication (shop) drawings, two weeks prior to commencing fabrication, for review and comment by the engineer and architect
- MATERIALS**
  - All steelwork for plates, flats, UB & UC steel to be grade S355JR Internal and S355J0 External to BS EN 10025.
  - All steelwork for hollow sections to be grade S355J2H Internal and external to BS EN 10210.
  - All bolted connections to be formed with grade 8.8 bolts to BS EN ISO 898. All connection bolts to be hot spun galvanised. All washers to BS4320.
- FINISHES (CORROSION PROTECTION)**
  - All steelwork to be shot blasted to Swedish standard SA2.5 BS EN ISO 8501-1: 2001 after fabrication.
  - Shop applied corrosion protection of steelwork to be Sherwin-Williams (Leigh's Points) or equal approved.

Type 1: Internal dry environment (C1 very low to BS EN ISO 12944) Primer/Buldocoat: EPIGRIP C400V3 Zinc Phosphate @ 75 microns d.f.t.

Type 2: Damp environment, steelwork in cavity wall & garage (C2 low to BS EN ISO 12944) Primer/Buldocoat: EPIGRIP C400V3 Zinc Phosphate @ 125 microns d.f.t.

Type 4: Externally exposed (RHs & btm. plate) Hot dip galvanised in accordance with BS EN ISO 1461 to a nominal thickness of 140 micron. Prior to painting, galvanised surfaces to be passivated with a special etch primer.

Final paint specification to be submitted to the Engineer/Architect for approval. Compatible undercoat and finish coats to Architect's specification.
- FIRE PROTECTION**
  - Refer to the Architect for details. Intumescent paint should be compatible with the corrosion protection paintwork.
- STEELWORK CONNECTIONS**
  - All steelwork connections to be designed in accordance with BS 5950:Pt1:2000 by the steelwork contractor, where not specified/detailed by the Engineer.
  - Steel member end reactions shown on drawings are ultimate and in kN and kNm.
  - Steelwork contractor is to submit design calculations, shop drawings, and welding procedures two weeks prior to commencing fabrication.
  - Gusset/end plate minimum thickness 10mm.
  - Minimum bolts diameter is 20mm for connections
  - Minimum 2 - bolt connection for bracing. Minimum 4 - bolt connection for beams.
  - All welding to be in accordance with BS EN 1011. Minimum weld size to be firm.
  - All connections designed to resist a shear load shall also resist an equivalent tension load acting on its own.
  - Where member loads/end reactions are not specified and connections are to be designed for a shear or tension load of 75kN.

**ABOVE DPC CAST STONE & MORTAR**

All cast stone above DPC level to be dense solid block with no voids to BS EN 771-5 and BS 1217. Minimum compressive strength of 20.0N/mm<sup>2</sup>. Minimum density 2000kg/m<sup>3</sup>. Fire resistance A1. All mortar above DPC level to be designation (III), 1:5 masonry cement:sand. No additives will be permitted without the prior approval of the Engineer. All loadbearing masonry to be constructed in accordance with BS 6320-3. Code of practice for the use of masonry - Materials and components, design and workmanship.

Rev	Description	Date
-	-	-

**BUILDING WARRANT**

Client  
**Prestwick Civic Pride Partnership**

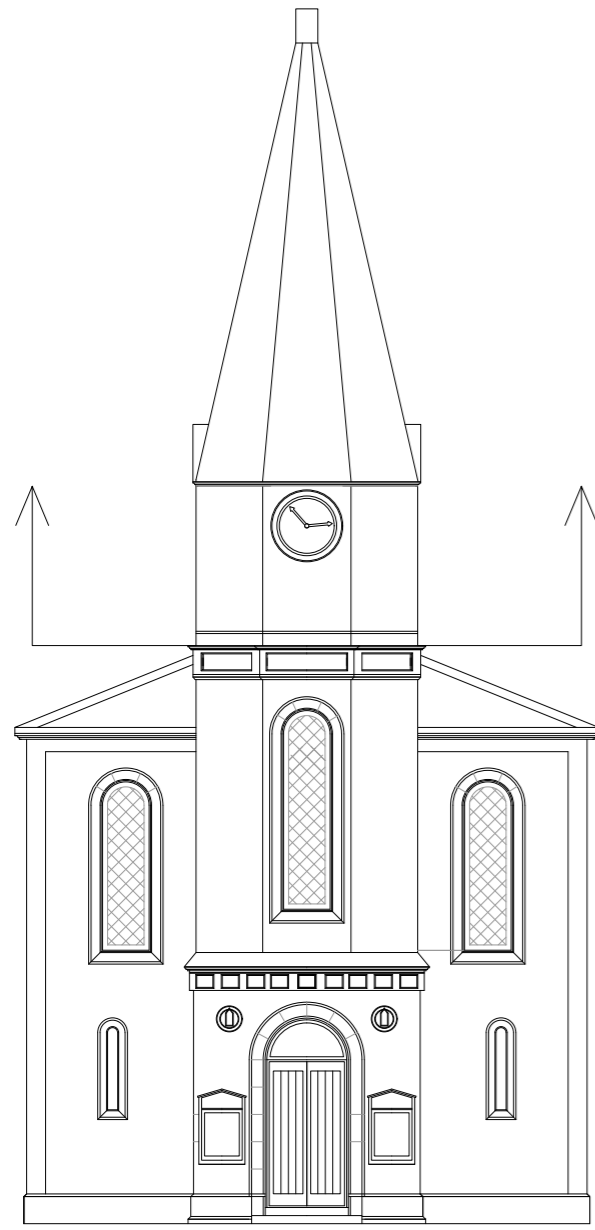
Project  
**Freeman's Hall  
Prestwick**

Drawing Title  
**Structural Works  
Sheet 4 of 5  
Option 1 & 3**

Date	Scale	Size	Drawn	Checked
Nov 23	As shown	A1	BL	N.MCC

Mission Hall, 2A Waterloo Road, Prestwick Ayrshire KA9 2AA  
01292 737224 info@mccolm-design.com www.mccolm-design.com

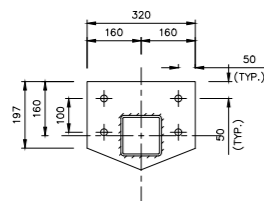
Drawing No: **5772.ODB 004**



**FRONT ELEVATION**  
1:50

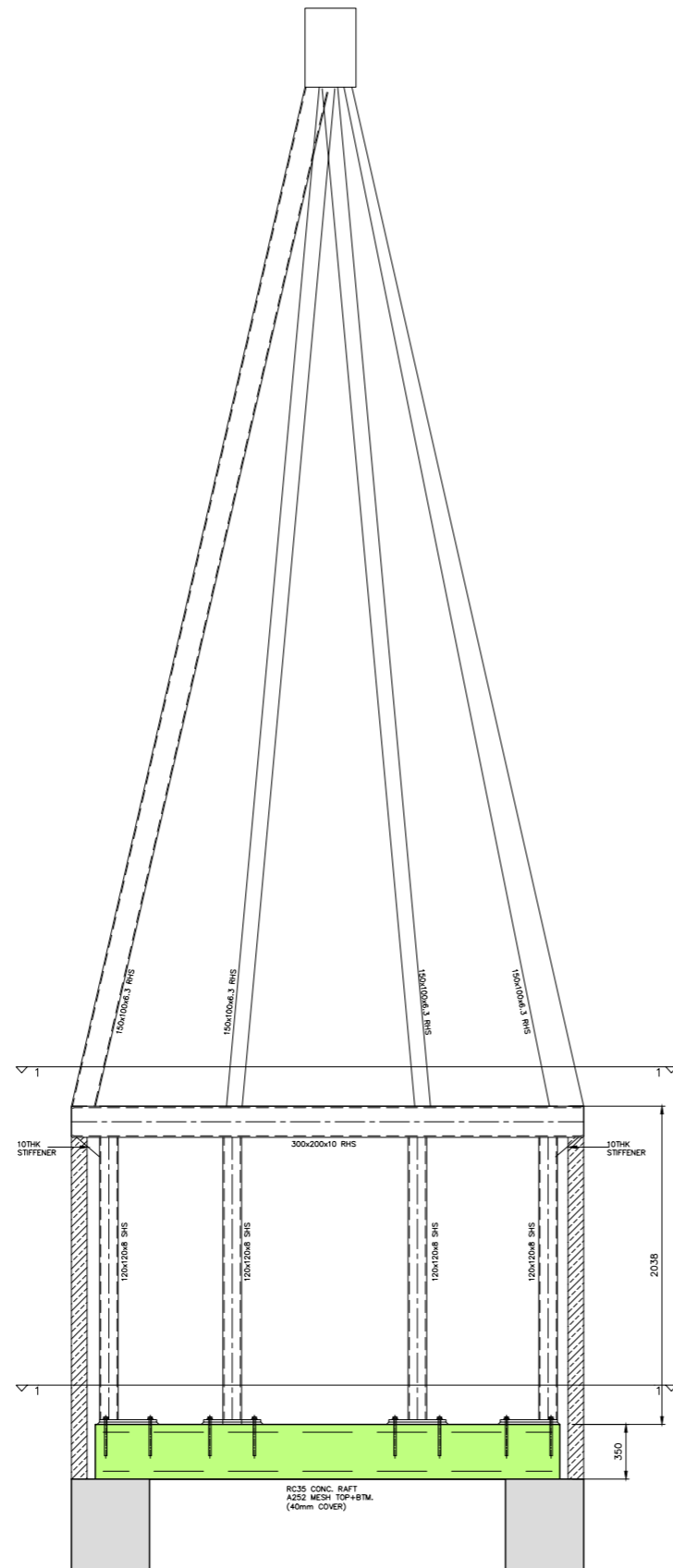
STAINLESS STEEL TIES 140 X 70 M6  
BESPOKE BY HALFEN OR EQUAL AND  
APPROVED. THE SPECIFICATION TO BE  
APPROVED BY STRUCTURAL  
ENGINEER.  
TIE BEDDED INTO STONE WITH  
CONCRETE  
OR EQUAL AND APPROVED.

**STONE TIE DETAIL**  
1:10

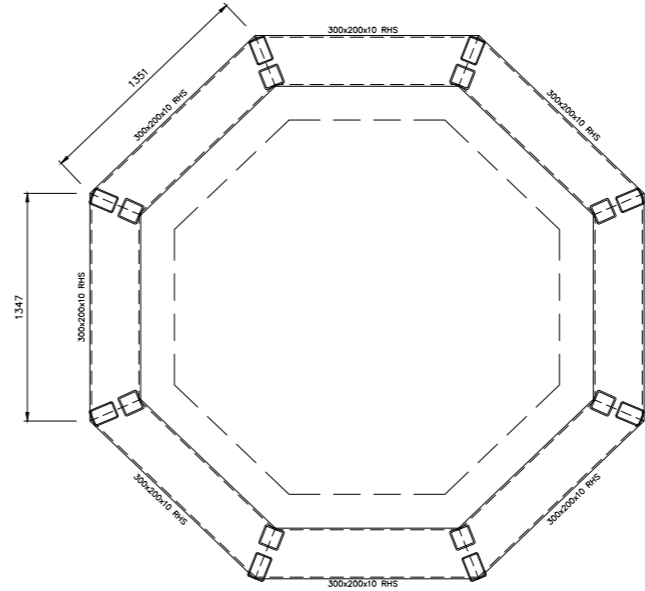


197x320x15mm THICK BASEPLATE  
6mm FULL PROFILE FILED WELD  
4No. M6 HELI HIT HY150/HAS  
POST DRILLED RESIN ANCHORS  
(200mm EMBEDMENT)  
25mm NON-SHRINK GRANULATED  
GROUT TO U/S OF BASEPLATE

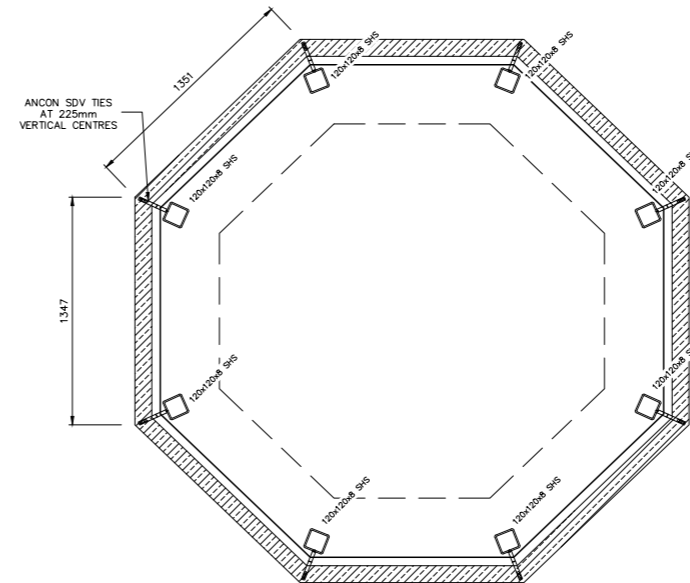
**120SHS BASEPLATE**  
1:10



**SECTION THROUGH CONCRETE BASE**  
1:20



**PLAN - SECTION 1-1**  
1:20



**PLAN - SECTION 2-2**  
1:20

Option 2: Modern light weight steel form.

We have modelled one light weight steel form as an example of how this could be achieved. A base frame providing stability to lower stone courses and as an anchor for light weight rectangular hollow sections of clear span without restraint. This could take a number of forms to suit the architectural design

General Stone Repairs

Stone repairs to be achieved by indent, replacement and at a very minimum lithomex to match the existing sandstone.

**DO NOT SCALE**  
Use figured dimensions only. If in doubt - Ask the Engineer

**STRUCTURAL STEELWORK**

- GENERAL**
  - All steelwork to comply with the National Structural Steelwork Specification for building construction 4th Edition published by BCSA/SCI.
  - This drawing to be read in conjunction with all other relevant drawings, notes and specifications issued by the Engineer, Architect, and Services Engineer.
- ERECTION**
  - The steelwork Contractor is responsible for design, fabrication, erection and removal of all necessary temporary bracing and support required to provide stability to the steel frame or any part of the frame during construction. Lifting points, and temporary hoist supports are to be provided as necessary to steel members to suit erection and safe working practice procedures.
- CE MARKING**
  - ALL STEELWORK TO BE CE MARKED AND THE FABRICATION CERTIFICATE MUST BE SUBMITTED TO BUILDING STANDARDS.
  - Consequence Class - C2.
  - Service Category - S1
  - Production Category - PC1 & PC2
  - Execution Class - EX2
- SITE SURVEY & FABRICATION DRAWINGS**
  - All steel size to be site checked prior to fabrication.
  - Steelwork contractor is to submit fabrication (shop) drawings, two weeks prior to commencing fabrication, for review and comment by the engineer and architect
- MATERIALS**
  - All steelwork for plates, flats, UB & UC steel to be grade S355JR Internal and S355JO External to BS EN 10025.
  - All steelwork for hollow sections to be grade S355J2H Internal and external to BS EN 10210.
  - All bolted connections to be formed with grade 8.8 bolts to BS EN ISO 898. All connection bolts to be hot spun galvanised. All washers to BS4320.
- FINISHES (CORROSION PROTECTION)**
  - All steelwork to be shot blasted to Swedish standard SA2.5 BS EN ISO 8501-1: 2001 after fabrication.
  - Shop applied corrosion protection of steelwork to be Sherwin-Williams (Igh's Points) or equal approved.

Type 1: Internal dry environment (C1 very low to BS EN ISO 12944) Primer/Bulldoat: EPIGRIP C400V3 Zinc Phosphate @ 75 microns d.f.t.  
Type 2: Damp environment, steelwork in cavity wall & garage (C2 low to BS EN ISO 12944) Primer/Bulldoat: EPIGRIP C400V3 Zinc Phosphate @ 125 microns d.f.t.  
Type 4: Externally exposed (RHS & btm. plate)  
Hot dip galvanised in accordance with BS EN ISO 1461 to a nominal thickness of 140 micron. Prior to painting, galvanised surfaces to be passivated with a special etch primer.

Final paint specification to be submitted to the Engineer/Architect for approval. Compatible undercoat and finish coats to Architect's specification.

- Steelwork encased in masonry: - Apply d.f.t. 175 microns coat of black bitumen paint to steelwork.
- All steelwork, baseplate and holding down bolts below ground floor slab level to be encased in designated mix RC35 reinforced concrete with D49 wrapping mesh. Minimum 100mm cover to steelwork.
- Site painting: - All areas of paintwork damaged in transit and during erection to be cleaned, prepared and made good after erection.
- FIRE PROTECTION**
  - Refer to the Architect for details. Intumescent paint should be compatible with the corrosion protection paintwork.
- STEELWORK CONNECTIONS**
  - All steelwork connections to be designed in accordance with BS 5950-P1:2000 by the steelwork contractor, where not specified/detailed by the Engineer.
  - Steel member end reactions shown on drawings are ultimate and in kN and kNm.
  - Steelwork contractor is to submit design calculations, shop drawings, and welding procedures two weeks prior to commencing fabrication.
  - Gusset/end plate minimum thickness 10mm.
  - Minimum bolts diameter is 20mm for connections
  - Minimum 2 - bolt connection for bracing. Minimum 4 - bolt connection for beams.
  - All welding to be in accordance with BS EN 1011. Minimum weld size to be 6mm.
  - All connections designed to resist a shear load shall also resist an equivalent tension load acting on its own.
  - Where member loads/end reactions are not specified end connections are to be designed for a shear or tension load of 75kN.

**ABOVE DPC CAST STONE & MORTAR**

All cast stone above DPC level to be dense solid block with no voids to BS EN 771-5 and BS 1217. Minimum compressive strength of 20.0N/mm<sup>2</sup>. Minimum density 2000kg/m<sup>3</sup>. Fire resistance A1. All mortar above DPC level to be designation (iii), 1:5 masonry cement:sand. No additives will be permitted without the prior approval of the Engineer. All loadbearing masonry to be constructed in accordance with BS 6320-2. Code of practice for the use of masonry - Materials and components, design and workmanship.

Rev	Description	Date
-	-	-

**BUILDING WARRANT**

Client  
**Prestwick Civic Pride Partnership**

Project  
**Freeman's Hall  
Prestwick**

Drawing Title  
**Structural Works  
Sheet 4 of 5  
Option 2**

Date	Scale	Size	Drawn	Checked
Nov 23	As shown	A1	BL	N.McC

**mccolm**  
Civil & Structural Engineers  
Mission Hall, 2A Waterloo Road, Prestwick Ayrshire KA9 2AA  
01292 737224  
info@mccolm-design.com  
www.mccolm-design.com

Drawing No: **5772.ODB 005**







**FABRIC REPAIRS AND REPURPOSING (OPTION 01)**

**OF**

**FREEMAN'S HALL AND COTTAGE, PRESTWICK**

**FOR**

**PRESTWICK CIVIC PRIDE PARTNERSHIP**



**STAGE 1 ELEMENTAL BUDGET COST**

**NOVEMBER 2023**

## **Appendix 03 Elemental Budget Cost: Option 01**

The following pages comprise the 'Stage 1 Elemental Budget Costs' as prepared by Brown + Wallace, representing a summary of the estimated order of costs for carrying out proposed Option 01 works to Freeman's Hall, Cottage and External Works to front and rear. Works are inclusive of rebuilding 2011 demolished steeple on Category B listed former Burgh Halls.

1.00 INTRODUCTION

PRESTWICK CIVIC PRIDE PARTNERSHIP

FABRIC REPAIRS AND REPURPOSING (OPTION 01)

FREEMAN'S HALL AND COTTAGE, PRESTWICK

INTRODUCTION



NOVEMBER 2023

The following represents a summary of the estimated order of costs for carrying out proposed Option 01 works to Freeman's Hall, Cottage and External Works to front and rear as detailed in O'Donnell Brown Stage 2 Report dated November 2023

Works are inclusive of rebuilding 2011 demolished steeple on Category B listed former Burgh Halls

Costs are high level RIBA Stage 1 based on November 2023 pricing levels and market conditions



Reported:

Craig Macdonald

For  
Brown + Wallace  
22 James Morrison Street  
Glasgow G1 5PE

Dated: 28 November 2023

## 2.00 ELEMENTAL COST NOTES AND ASSUMPTIONS

PRESTWICK CIVIC PRIDE PARTNERSHIP

FABRIC REPAIRS AND REPURPOSING (OPTION 01)

FREEMAN'S HALL AND COTTAGE, PRESTWICK

**ELEMENTAL COST NOTES AND ASSUMPTIONS**



NOVEMBER 2023

This estimate is based on the following drawings and information:-

1.01 O'Donnell brown stage 2 Report dated November 2023

No allowance has been included within this estimate for the following items:-

- 2.01 Tender price Inflation beyond current base date of 4Q 2023
- 2.02 Finance Costs
- 2.03 Pre tender surveys
- 2.04 Interest charges
- 2.05 Out of Hours Working
- 2.06 Contract Guarantee Bond
- 2.07 Enhancements to public footpaths
- 2.08 Statutory services diversions
- 2.09 Client loose fixtures and fittings

This cost estimate is based on the following assumptions:-

- 3.01 Tenders will be competitively procured as a single phase contract with suitably selected main contractors
- 3.02 No works to Freeman's Hall internally as recently fitted out
- 3.03 Contract period typical for this type of work
- 3.04 Agreements will be reached with any adjoining owners for setting down, access and erection of scaffolding and any oversailing rights
- 3.05 Mains utilities have sufficient capacity to serve the proposed useage
- 3.06 The ground and sub-soils are free from contamination
- 3.07 No allowance for any underpinning works
- 3.08 No allowance for sprinkler installations
- 3.09 Bin storage provision within immediate curtilage
- 3.10 No allowance for smoke ventilation within staircase and corridor areas
- 3.11 No provision for EV charging
- 3.12 Access maintained through Kirk Lane subject to scaffolding restrictions

3.00 SUMMARY OF TOTAL ESTIMATED PROJECT COST

PRESTWICK CIVIC PRIDE PARTNERSHIP

FABRIC REPAIRS AND REPURPOSING (OPTION 01)

FREEMAN'S HALL AND COTTAGE, PRESTWICK



NOVEMBER 2023

**SUMMARY OF TOTAL ESTIMATED PROJECT COST**

1	CONSTRUCTION COST ESTIMATE		
1.1	Rebuild spire	£	387,100
1.2	Cottage works	£	411,300
1.3	Freeman's Hall works	£	173,000
1.4	External works	£	107,300
1	TOTAL CONSTRUCTION COST ESTIMATE	£	<u>1,078,700</u>
2	VAT ON WORKS	20.00% £	215,700
3	PROFESSIONAL FEES	17.00% £	183,400
4	VAT ON FEES	20.00% £	36,700
	TOTAL COST ESTIMATE	£	<u>1,514,500</u>
5	OTHER DEVELOPEMENT COSTS		
	Surveys	£	
	Statutory approvals	£	
	Archaeology	£	16,200
	Other	£	
	<b>TOTAL ESTIMATED PROJECT COST</b>	<b>£</b>	<b><u><u>1,530,700</u></u></b>

4.00 ELEMENTAL CONSTRUCTION COST SUMMARY

PRESTWICK CIVIC PRIDE PARTNERSHIP

FABRIC REPAIRS AND REPURPOSING (OPTION 01)

FREEMAN'S HALL AND COTTAGE, PRESTWICK



ELEMENTAL CONSTRUCTION COST SUMMARY

NOVEMBER 2023

Cost Centre	GROUP ELEMENT / ELEMENT	Total Cost of Element	Cost per m2 GFA	Element %
0	FACILITATING WORKS	3,600	14.47	0%
1	SUBSTRUCTURE	-	-	0%
2	SUPERSTRUCTURE	481,900	1,937.59	45%
3	INTERNAL FINISHES	40,800	164.05	4%
4	FITTINGS AND FURNISHINGS	40,300	162.04	4%
5	SERVICES	65,400	262.96	6%
6	COMPLETE BUILDINGS AND BUILDING UNITS	-	-	0%
7	WORKS TO EXISTING BUILDINGS	92,200	370.71	9%
8	EXTERNAL WORKS	90,800	365.08	8%
9	MAIN CONTRACTOR'S PRELIMINARIES	£ 97,500	392.02	9%
10	MAIN CONTRACTOR'S OVERHEADS AND PROFIT	£ 68,400	275.02	6%
11	PROJECT / DESIGN TEAM FEES	£ -	-	0%
12	OTHER DEVELOPMENT / PROJECT COSTS	-	-	0%
13	CONTINGENCIES	97,800	393.23	9%
<b>TOTAL BUILDING WORKS ESTIMATE</b>		<b>1,078,700</b>	<b>4,337.17</b>	<b>100%</b>

SUMMARY OF AREAS

GIFA Summary		
Ground floor	171 m2	69%
First floor	78 m2	31%
<b>Total M2 GFA</b>	<b>249 m2</b>	<b>100%</b>

Designation of GIFA		
Freeman's Hall	157 m2	63%
Cottage	91 m2	37%
<b>Total M2 GIFA</b>	<b>249 m2</b>	<b>100%</b>



**FABRIC REPAIRS, REPURPOSING AND EXTENSION (OPTION 02)**

**AT**

**FREEMAN'S HALL AND COTTAGE, PRESTWICK**

**FOR**

**PRESTWICK CIVIC PRIDE PARTNERSHIP**



**STAGE 1 ELEMENTAL BUDGET COST**

**NOVEMBER 2023**

## **Appendix 04 Elemental Budget Cost: Option 02**

The following pages comprise the 'Stage 1 Elemental Budget Costs' as prepared by Brown + Wallace, representing a summary of the estimated order of costs for carrying out proposed Option 02 works to Freeman's Hall, Cottage and External Works to front and rear. Works are inclusive of rebuilding 2011 demolished steeple on Category B listed former Burgh Halls.

## 1.00 INTRODUCTION

PRESTWICK CIVIC PRIDE PARTNERSHIP

FABRIC REPAIRS, REPURPOSING AND EXTENSION (OPTION 02)

FREEMAN'S HALL AND COTTAGE, PRESTWICK

**INTRODUCTION**



NOVEMBER 2023

The following represents a summary of the estimated order of costs for carrying out proposed Option 02 works to Freeman's Hall, Cottage with Activity room extension and External Works to front and rear as detailed in O'Donnell Brown Stage 2 Report dated November 2023

Works are inclusive of rebuilding 2011 demolished steeple on Category B listed former Burgh Halls

Costs are high level RIBA Stage 1 based on November 2023 pricing levels and market conditions



Reported:

Craig Macdonald

For  
Brown + Wallace  
22 James Morrison Street  
Glasgow G1 5PE

Dated: 30 November 2023



## 2.00 ELEMENTAL COST NOTES AND ASSUMPTIONS

PRESTWICK CIVIC PRIDE PARTNERSHIP

FABRIC REPAIRS, REPURPOSING AND EXTENSION (OPTION 02)

FREEMAN'S HALL AND COTTAGE, PRESTWICK

**ELEMENTAL COST NOTES AND ASSUMPTIONS**



NOVEMBER 2023

This estimate is based on the following drawings and information:-

1.01 O'Donnell brown stage 2 Report dated November 2023

No allowance has been included within this estimate for the following items:-

- 2.01 Tender price Inflation beyond current base date of 4Q 2023
- 2.02 Finance Costs
- 2.03 Pre tender surveys
- 2.04 Interest charges
- 2.05 Out of Hours Working
- 2.06 Contract Guarantee Bond
- 2.07 Enhancements to public footpaths
- 2.08 Statutory services diversions
- 2.09 Client loose fixtures and fittings

This cost estimate is based on the following assumptions:-

- 3.01 Tenders will be competitively procured as a single phase contract with suitably selected main contractors
- 3.02 No works to Freeman's Hall internally as recently fitted out
- 3.03 Contract period typical for this type of work
- 3.04 Agreements will be reached with any adjoining owners for setting down, access and erection of scaffolding and any oversailing rights
- 3.05 Mains utilities have sufficient capacity to serve the proposed useage
- 3.06 The ground and sub-soils are free from contamination
- 3.07 No allowance for any underpinning works
- 3.08 No allowance for sprinkler installations
- 3.09 Bin storage provision within immediate curtilage
- 3.10 No allowance for smoke ventilation within staircase and corridor areas
- 3.11 No provision for EV charging
- 3.12 Access maintained through Kirk Lane subject to scaffolding restrictions

3.00 SUMMARY OF TOTAL ESTIMATED PROJECT COST

PRESTWICK CIVIC PRIDE PARTNERSHIP

FABRIC REPAIRS, REPURPOSING AND EXTENSION (OPTION 02)

FREEMAN'S HALL AND COTTAGE, PRESTWICK



NOVEMBER 2023

**SUMMARY OF TOTAL ESTIMATED PROJECT COST**

1	CONSTRUCTION COST ESTIMATE		
1.1	Rebuild spire	£	387,100
1.2	Cottage works	£	404,600
1.3	Freeman's Hall works	£	173,000
1.4	Activity room extension	£	278,500
1.5	External works	£	95,800
1	TOTAL CONSTRUCTION COST ESTIMATE	£	<u>1,339,000</u>
2	VAT ON WORKS	20.00% £	267,800
3	PROFESSIONAL FEES	17.00% £	227,600
4	VAT ON FEES	20.00% £	45,500
	TOTAL COST ESTIMATE	£	<u>1,879,900</u>
5	OTHER DEVELOPEMENT COSTS		
	Surveys	£	
	Statutory approvals	£	
	Archaeology	£	28,100
	Other	£	
	<b>TOTAL ESTIMATED PROJECT COST</b>	<b>£</b>	<b><u><u>1,908,000</u></u></b>

4.00 ELEMENTAL CONSTRUCTION COST SUMMARY

PRESTWICK CIVIC PRIDE PARTNERSHIP

FABRIC REPAIRS, REPURPOSING AND EXTENSION (OPTION 02)

FREEMAN'S HALL AND COTTAGE, PRESTWICK



ELEMENTAL CONSTRUCTION COST SUMMARY

NOVEMBER 2023

Cost Centre	GROUP ELEMENT / ELEMENT	Total Cost of Element	Cost per m2 GFA	Element %
0	FACILITATING WORKS	3,600	11.43	0%
1	SUBSTRUCTURE	19,700	62.56	1%
2	SUPERSTRUCTURE	595,000	1,889.51	44%
3	INTERNAL FINISHES	60,900	193.40	5%
4	FITTINGS AND FURNISHINGS	44,400	141.00	3%
5	SERVICES	88,600	281.36	7%
6	COMPLETE BUILDINGS AND BUILDING UNITS	-	-	0%
7	WORKS TO EXISTING BUILDINGS	118,500	376.31	9%
8	EXTERNAL WORKS	81,000	257.23	6%
9	MAIN CONTRACTOR'S PRELIMINARIES	£ 121,000	384.25	9%
10	MAIN CONTRACTOR'S OVERHEADS AND PROFIT	£ 84,900	269.61	6%
11	PROJECT / DESIGN TEAM FEES	£ -	-	0%
12	OTHER DEVELOPMENT / PROJECT COSTS	-	-	0%
13	CONTINGENCIES	121,400	385.52	9%
<b>TOTAL BUILDING WORKS ESTIMATE</b>		<b>1,339,000</b>	<b>4,252.20</b>	<b>100%</b>

SUMMARY OF AREAS

GIFA Summary		
Ground floor	237 m2	75%
First floor	78 m2	25%
<b>Total M2 GFA</b>	<b>315 m2</b>	<b>100%</b>

Designation of GIFA		
Freeman's Hall	157 m2	50%
Cottage	91 m2	29%
Activity Extension	66 m2	21%
<b>Total M2 GIFA</b>	<b>315 m2</b>	<b>100%</b>



## Appendix 05 Steeple Works Cost Plan

**REBUILDING OF STEEPLE**

**AT**

**PRESTWICK FREEMANS' HALLS, KIRK STREET, PRESTWICK**

**FOR**

**PRESTWICK CIVIC PRIDE PARTNERSHIP**



**STAGE 0 BUDGET COST**

**AUGUST 2023**

The following pages comprise the costings for the steeple works as prepared by Brown + Wallace in August 2023.

The following represents a summary of the estimated order of costs for carrying out rebuilding of previously demolished stone steeple structure to Category B listed former Burgh Halls using original salvaged stone as a template for new works

All works to existing remaining hall are excluded unless directly related to rebuilding works

Assumption that no significant deterioration of the remaining building fabric has occurred since 2014 steeple demolition

Costs are high level RIBA Stage 0 based on August 2023 pricing levels and market conditions



Reported:



Craig Macdonald

For  
Brown + Wallace  
22 James Morrison Street  
Glasgow G1 5PE

Dated: 23 August 2023

<b>1.0 ROOF AND ROOF STRUCTURE</b>		
1.1 Remove existing roof capping	£	3,000
1.2 Replace weather vane and finial	£	16,000
1.3 Lightning protection system	£	6,000
1.4 Leadwork	£	20,000
<b>2.0 RAINWATER DISPOSAL</b>		
2.1 Cast iron rainwater goods	£	4,000
2.2 Drainage connection	£	5,000
<b>3.0 MASONRY</b>		
3.1 Preparatory works	£	10,000
3.2 Structural works at base	£	25,000
3.3 Rebuild steeple in natural stone to match existing profiles	£	150,000
3.4 S/S cross beam and centre rod	£	11,000
3.5 Cleaning and pointing to lower section of steeple	£	20,000
<b>4.0 JOINERY AND WINDOWS</b>		
4.1 Overhaul clocks and install	£	28,000
4.2 Internal steeple access ladders and platform	£	4,500
<b>5.0 INTERIOR</b>		
5.1 Rot repairs	£	10,000
5.2 Reinstatement and decoration	£	15,000
Sub-total	£	327,500
<b>6.0 CONTRACT PRELIMINARIES AND CONTINGENCIES</b>		
6.1 Contractor's general cost items	£	42,000
6.2 Security requirements (cameras)	£	0
6.3 Access scaffolding	£	40,000
6.4 Contractor overheads and profit (5%)	£	20,500
Sub-total	£	102,500
6.5 Contract Contingencies (10%)	£	43,000
Sub-total	£	145,500
6.6 Inflationary allowance to site start	£	0
<b>TOTAL ESTIMATED WORKS COST</b>	£	<b>473,000</b>
<b>7.0 STATUTORY CONSENTS AND OTHER DEVELOPMENT COSTS</b>		
7.1 Planning	£	0
7.2 Listed Building or Conservation Consent	£	0
7.3 Building Warrant	£	6,000
7.4 Stone samples	£	2,000
	£	8,000
<b>8.0 PROFESSIONAL FEES AND VAT</b>		
8.1 Professional fees (13%)	£	71,000
8.2 VAT on Works (20%)	£	94,600
8.3 VAT on Fees (20%)	£	14,200
Sub-total	£	179,800
<b>TOTAL ESTIMATED PROJECT COST</b>	£	<b>660,800</b>

Notes

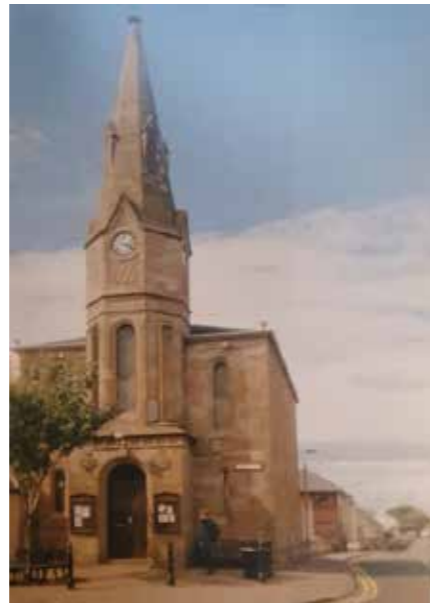
- a No works to existing hall  
b Assumed procurement by competitive tendering as single phase contract (16 weeks contract period)



## Prestwick Civic Pride

# PRESTWICK FREEMAN'S HALL

2023



## Appendix 06 Business Case

The following pages comprise the business case as prepared by strategy & research consultant Community Links Scotland. The document outlines the project aim, which is:

*to redevelop the existing Prestwick Freeman's Hall building and adjacent cottages and land to create a new flexible space that can be used for a variety of purposes. The aim of the project is to improve and secure the quality of life of the local residents of Prestwick, through provision of a new community space to offer a place to meet, socialise, and access services, activities and facilities. The hall will focus on meeting the needs of the existing local population by bringing together South Ayrshire Health & Social Care Partnership alongside a wide range of other partners.*

### Objectives

- *The objectives of the redeveloped Prestwick Freeman's Hall are:*
- *To reinstate a spire on the listed building*
- *To provide local residents with a community facility that will be the new location of the HSCP*
- *To provide a flexible, community facility for local residents*
- *To encourage a range of locally-delivered service provision in response to local need*
- *To reduce barriers to participation for residents of Prestwick*



## SUMMARY

### Aim

The intention is to redevelop the existing Prestwick Freeman's Hall building and adjacent cottages and land to create a new flexible space that can be used for a variety of purposes. The aim of the project is to improve and secure the quality of life of the local residents of Prestwick, through provision of a new community space to offer a place to meet, socialise, and access services, activities and facilities. The hall will focus on meeting the needs of the existing local population by bringing together South Ayrshire Health & Social Care Partnership alongside a wide range of other partners.

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The objectives of the redeveloped Prestwick Freeman's Hall are:

- To reinstate a spire on the listed building
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- To encourage a range of locally-delivered service provision in response to local need
- To reduce barriers to participation for residents of Prestwick

### Heritage Enterprise Outcomes

A wider range of people will be involved in heritage

A spire will be reinstated on the hall

Heritage will be in better condition

Heritage will be identified and better explained

People will have developed skills

People will have learnt about heritage, leading to change in ideas and actions

People will have greater wellbeing

The local area will be a better place to live, work or visit

The local economy will be boosted

## CONTENTS

- 1.0 Background and Project Development
- 2.0 Strategic Context
- 3.0 Needs Analysis
- 4.0 Demand Analysis
- 5.0 Building Design
- 6.0 Project Management
- 7.0 Project Finance
- 8.0 Risk Analysis

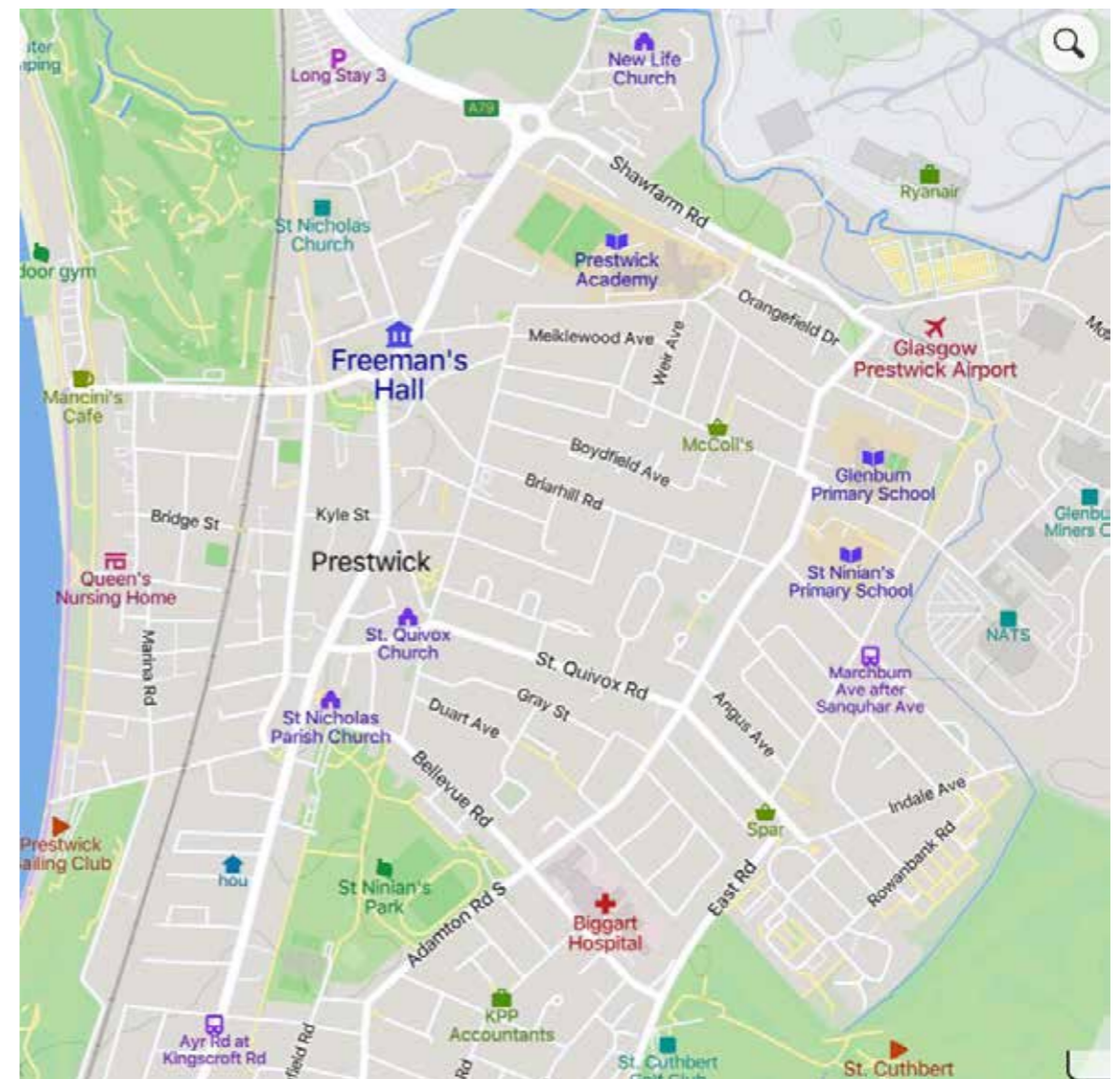
## 1.0 BACKGROUND & PROJECT DESCRIPTION

### 1.1 Location of Prestwick Freeman's Hall

Prestwick Freeman's Hall, also known as Prestwick Burgh Hall is a municipal building in Kirk Street Prestwick. The pictures below show the front of the Prestwick Freeman's Hall, part of a busy and commercial Prestwick Cross looking north, with the spire and Market Cross both still in place.



The site has altered greatly with the cross being re located in 1963 and the spire being removed in 2011. The former cottages are now South Ayrshire offices and the original garage has been greatly expanded on the opposite corner of Kirk Street.



## 1.2 Background to Prestwick Freeman's Hall

The first municipal building in Prestwick was an early 18th century tollbooth. The tollbooth was used as the offices and meeting place of the chancellor and the two bailies who administered the town: they were elected annually by the 36 freemen of the burgh who owned 1,000 acres (400 ha) of land in and around the town. The current building was commissioned by the freemen of Prestwick for use as the local burgh school. It was designed in the Gothic Revival style, built in ashlar stone and was completed in 1837.

The design involved a symmetrical main frontage with three bays facing onto the corner of The Cross and Kirk Street; the central bay, which projected forward, featured a porch with an arched doorway and an octagonal tower above. The tower was fenestrated with a lancet window on the first floor and featured a clock face in the stage above which was surmounted by a spire. There were lancet windows in the outer bays. The ground floor was initially used as a prison and the first floor was used by the burgh school which accommodated some 60 children.

By the late 19th century the burgh council had assumed most of the functions of the freemen and the building had become the burgh hall. It continued in that use until the burgh council established the municipal buildings in Links Road in the late 1930s. The former burgh hall was then acquired by Ayrshire County Council and became their local district offices. After the spire was found to be structurally unsound, it was removed in 2011.

## 1.3 Timeline

1600	James VI confirmation of free burgh of barony
1837	Current Prestwick Freeman's Hall built with jail on ground floor and school above
1845	Railway connected to Prestwick
1856	60 children attend the school with the schoolmaster's salary £5 a year
1860	First Open Golf Championship held on Prestwick Old Course
1901	Trams installed in Prestwick
1963	Market Cross removed from front of Hall
1971	Hall awarded B listed status
2011	Original spire removed
2015	Talk Prestwick Town Centre Charrette carried out
2016	Prestwick Civic Pride established
2023	Prestwick Development Group established

## 1.4 Prestwick Civic Pride Partnership

Prestwick Civic Pride Partnership (PCPP) will be the lead organization, liaising with South Ayrshire Council, South Ayrshire HSCP and the Design Team. PCPP was established as a

Scottish Charitable Incorporated Organisation (SCIO) on 3<sup>rd</sup> August 2016 as a Scottish Charity reg. no. SCO46765.

### SCIO Aim

The advancement of citizenship and/or community development

### Objects

- 1.1 Promoting civic responsibility for the benefit of residents and visitors to Prestwick, by encouraging and co-ordinating the efforts of private, public and voluntary sectors to work together;
- 1.2 Running community events with the aim of reducing social isolation, increasing community cohesion and increasing the involvement of individuals in community activity through volunteerism;
- 1.3 Facilitating urban regeneration and pride in the town of Prestwick by preserving, enhancing and promoting the town, with the aim of improving the quality of life for the whole community.

All three objects are important and cut across each other as the group seek to work with the local community to enhance and improve the existing environment with and for the benefit of the local Prestwick community. The retention and improvement of our historic built environment is pivotal to PCPP's sense of place and contributes to making Prestwick a beautiful and vibrant place to live, work and visit. PCPP aims to deliver high-quality, sustainable conservation projects which contribute to the regeneration of Prestwick's built environment.

### Environmental Aims

- To rescue, repair and restore buildings of architectural and historic merit in Prestwick
- To participate in the wider regeneration of the town
- To encourage the use of traditional building skills and materials
- To provide exemplars of best practice in building conservation and design
- To work in partnership with Prestwick communities and key stakeholders
- To increase awareness and participation in Prestwick's built environment

### Prestwick Civic Pride Partnership Benefits

PCPP can lease, acquire, repair and find appropriate new uses for buildings which no-one else is willing or able to take on. PCPP can access charitable and public funding unavailable to South Ayrshire Council and commercial developers in order to deliver projects which drive social and economic regeneration. In particular PCPP can offer;

- Expertise in assembling increasingly complex funding packages
- Experience of developing strong partnerships and community involvement

- The pursuit of high standards of best-practice conservation combined with high-quality contemporary design
- Professional and dedicated Design Team and experienced Board of Directors

### 1.5 Prestwick Development Group

Prestwick Development Group were established to look at a new design for the spire, along with other regeneration projects within the town. South Ayrshire's new administration provided a £50,000 fund backing the 'Prestwick Development Group' in its work to source a replacement steeple. The idea of town councillor, Hugh Hunter, the cross-party group has Professor Ian Welsh OBE, who will act as independent chair.

Prominent town residents and community council figures are also on board. Part of the group's remit is to plan potential investment of £1 million into Prestwick, which will be unlocked from the expected windfall of Ayr's new leisure Centre being closed. The Group's aim is not only to replace

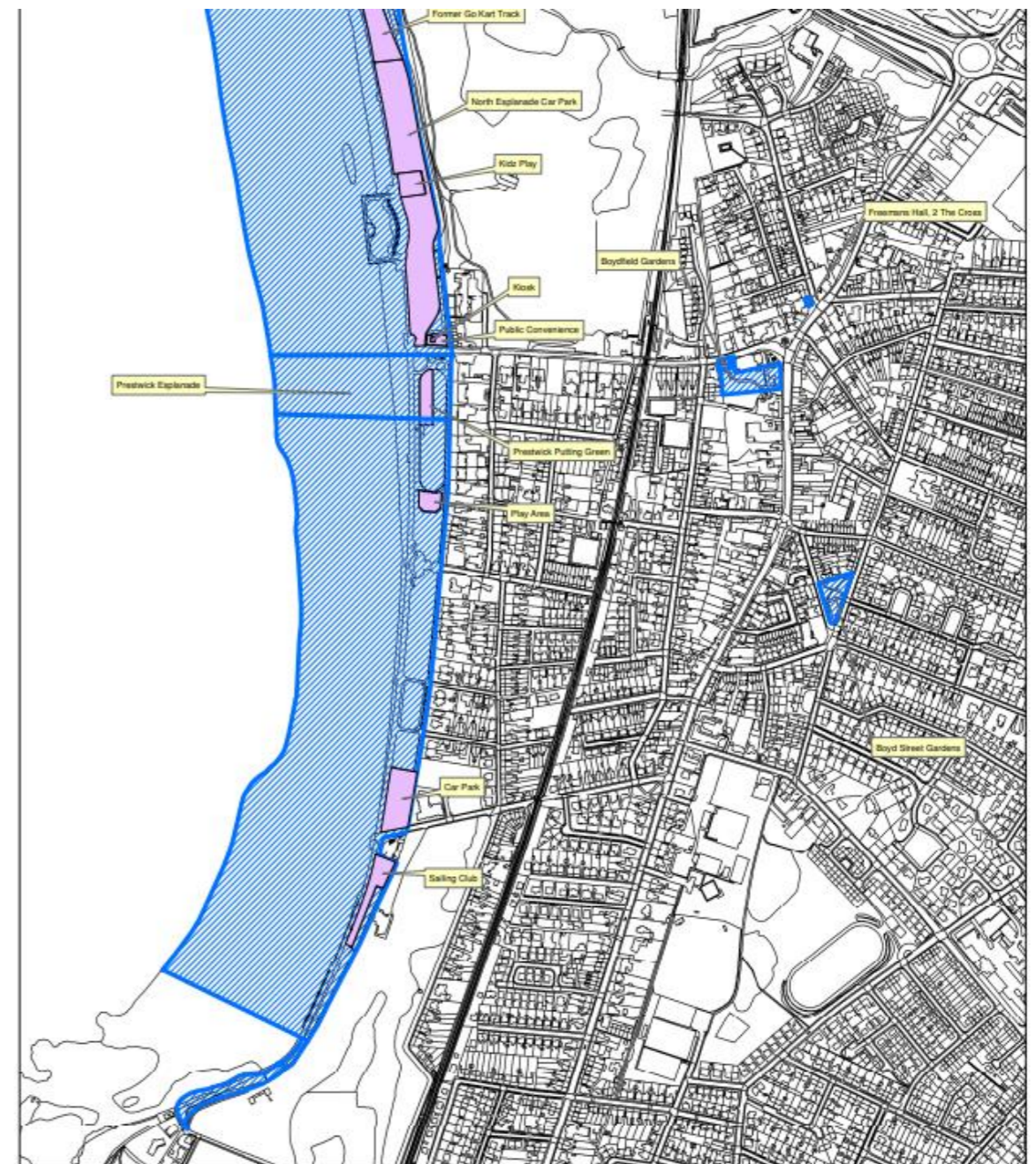


the spire, but also to find an end use for both the hall and the adjacent cottages.

### 1.6 Freeman's Hall Ownership

As highlighted in the map below, The Freeman's Hall, together with several other areas of open space in Prestwick are held for community use in the common good. The term 'Common Good' is used to denote property of the former Burghs which is reserved for purposes which promote the general good of the local residents. In 2021 there was £14m worth of asset, usable reserves of £397,000 in revenue and £939,000 of capital reserves in South Ayrshire's common good accounts.

The adjacent cottages are owned by South Ayrshire Council in addition to the car park to the rear of the hall.



Map Title

Scale 1:4000



- Prestwick Common Good
- Land and Property Assets



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## 2.0 STRATEGIC CONTEXT

This section outlines the strategic context for the development of Prestwick Freeman's Hall, linking the proposed provision to key national and local policy documents and outlining how the project can contribute to the achievement of outcomes contained within these policies.

### 2.1 National Policies

#### 2.1.1 Scottish Government Purpose, Strategic Objectives and National Outcomes

The Scottish Government has an overriding purpose to which all of its work and the work of its partners is geared: 'To focus the Government and public services on creating a more successful country, with opportunities for all of Scotland to flourish, through increasing sustainable economic growth.' The Government has put together five Strategic Objectives which aim to meet the Purpose as follows:

*Wealthier and Fairer* – enable businesses to increase their wealth and more people to share fairly in that wealth;

*Safer and Stronger* – help local communities to flourish, becoming stronger, safer places to live, offering improved opportunities and a better quality of life;

*Healthier* – help people to sustain and improve their health, especially in disadvantaged communities, ensuring better, local and faster access to health care;

*Smarter* – expand opportunities for Scots to succeed from nurture through to lifelong learning ensuring higher and more widely shared achievements;

*Greener* – improve Scotland's natural and built environment and the sustainable use and enjoyment of it.

*The development of a community/health facility and the resulting activities and services to be delivered therein can contribute to the achievement of all five Strategic Objectives. Under the Wealthier and Fairer objective, the project will create opportunities for residents within their own community, in terms of training and employment in addition to accessing services such as the housing association. The project will contribute to the Safer and Stronger objective by creating space for social interaction amongst different groups within the community and by providing services aimed at improving quality of life and helping the local community to flourish. In terms of the Healthier objective, the new building will contain facilities which will allow for low cost activities for local residents and young people.*

*The Government has developed 15 specific National Outcomes under these Strategic Objectives. The development of Prestwick Freeman's Hall would contribute to a number of these outcomes:*

#### 2.1.2 Government Economic Strategy

The Economic Strategy sets out how the Scottish Government will work with businesses and individuals to achieve the purpose shown below. Five Strategic Priorities have been set out to achieve the aim of economic growth and a strong, successful Scotland:

- Learning, Skills and Wellbeing
- Supportive Business Environment
- Infrastructure Development and Place
- Effective Government
- Equity

*By providing quality facilities that are available to the local community, a new community facility can contribute to one of the Strategic Priorities, and their related key approaches. The Learning, Skills and Wellbeing Priority can be met by the provision of training and adult education courses.*

#### 2.1.3 Scottish Government Regeneration Strategy: Achieving A Sustainable Future

This strategy is the Scottish Government's 'vision of a Scotland where our most disadvantaged communities are supported and where all places are sustainable and promote well-being'. The Strategy follows on from other documents, primarily the Government Economic Strategy. The Strategy acknowledges that many regeneration efforts in the past have concentrated on depressed and marginalised areas, however new investment should redress the balance by also focussing investment on stronger areas too in order to create sustainable economic growth.

*The Strategy emphasises community-led regeneration with the 'Focusing our Interventions' section recognising that 'local partners and communities themselves are best placed to identify local assets and needs'. Communities should have more responsibility for determining their own needs and acting upon these, taking responsibility for the delivery of regeneration projects. The public sector is not willing or not capable of addressing this issue, particularly in the current economic climate and as such it is left to local regeneration agents such as, Prestwick Civic Pride and the wider local community to act to address local needs and demands.*

In line with the recommendations of the Scottish Government Regeneration Strategy, this development will be community-led and is focused on the identified needs and demands of local people. The wider community has been regularly involved in identifying the services and activities that will be available therein. This new provision will bring together key local organisations in a hub including Prestwick Civic Pride, HSCP, SAC and the local Prestwick community.

### 2.1.4 Community Learning and Development Strategy

Community Learning and Development (CLD) is seen as a key tool in delivering the Scottish Government's commitment to social justice. This Strategy establishes that CLD capacity should be targeted towards activities aimed at closing the opportunity gap, achieving social justice and encouraging community regeneration. The Strategy outlines three priorities for Community Learning and Development which are Achievement through learning for adults, Achievement through learning for young people and Achievement through building community capacity.

*The development of a new community facility can contribute to all three priorities, the community capacity building priority through both the planning and building of the facility and the services and activities to be run thereafter and the other two priorities through service delivery focused on training, adult education and the environmental social enterprise project.*

### 2.1.5 All our Futures: Planning for Scotland with an ageing population

It is important to consider this strategy which aims to ensure that the needs of an ageing population within Scotland are met. This Strategy has three basic premises to achieve this aim:

- Older people are contributors to life in Scotland;
- There are barriers which need to be broken down between generations;
- Services should be in place to ensure that people can live life to the full as they grow older.

*The Partners in this project have worked with its members, wider community and project design team to ensure the new facility is multi-purpose and capable of meeting the needs of different sections of the community at the same time. The inter-generational aim will allow for older residents to interact with younger residents and will provide opportunities for age-specific services and activities to run simultaneously.*

### 2.2.6 Getting it right for every child

In conjunction with the Early Years Framework, Getting It Right for Every Child (also known as "Getting it right" or GIRFEC) is a national approach to supporting working with all children and young people in Scotland and informs all current early years' policy. It affects all services for children and also adult services where children are involved and is designed to ensure all parents, carers and professionals work effectively together to give children and young people the best possible start and improve their life opportunities.

The Vision for all children in Scotland is that they are:

- Successful learners
- Confident individuals

- Effective contributors
- Responsible citizens

## 2.2 Local Policies

### 2.2.1 South Ayrshire Health and Social Care Partnership, Strategic Plan 2021 -23

Strategic objectives drive the services provided and commissioned by the HSCP and are based on the engagement and conversations with partners and the community as well as reflecting existing commitments across the Council, the NHS and the broader Community Planning Partnership.



### 2.2.2 Asset Management Plan

South Ayrshire Council is committed to managing its land and building assets efficiently and effectively. The Council's land and building assets can be broken down into the following asset categories:

- Operational Assets which are required to directly support Council services;
- Non-Operational Assets which are commercial premises which assist in economic development and generate a revenue income stream for the Council – for example, shops, industrial units; and
- Common Good Assets which are generally historic properties/land held and managed by the Council for the people of South Ayrshire. The use of Common Good assets can fall within any of the above two asset type categories.

The Council's strategic objectives for 2016-18 are that we will work in partnership to maximise the potential of:

- our local economy;
- our young people;
- our adults and older people;
- our communities;
- our environment; and
- Improve the way we work as a Council.

### 2.2.3 South Ayrshire Planning Partnership – Local outcomes Improvement Plan

The Community Planning Partnership's work continues to support our older residents and the individuals and communities who need our support most. We are committed to making sure South Ayrshire is a great place for people to live, work, grow up in and grow old in. Reducing inequalities and improving outcomes for people in South Ayrshire is a key focus of South Ayrshire Community Planning Partnership (CPP). The Community Empowerment (Scotland) Act 2015 has given CPPs a statutory purpose regarding public service reform at a local level.

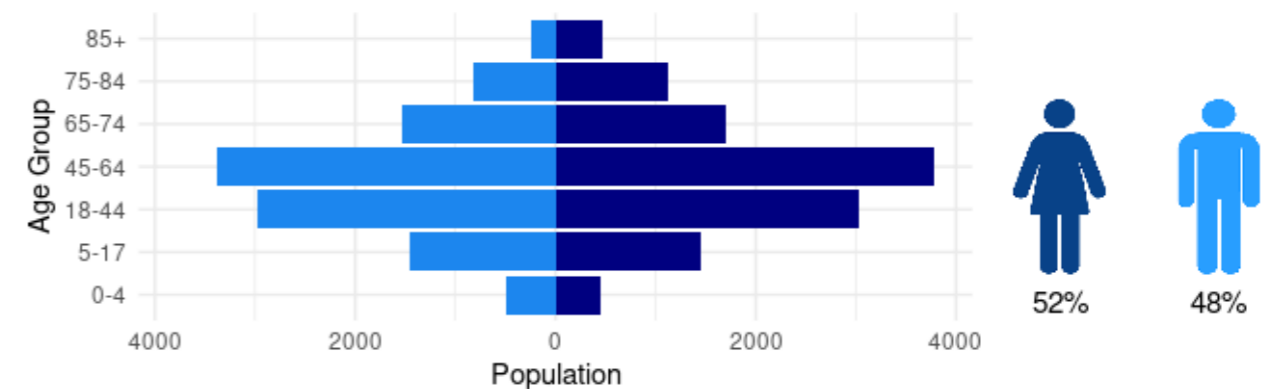
## 3.0 NEEDS ANALYSIS

### 3.1 Prestwick Population

The tables below highlight how Prestwick compares with other south Ayrshire localities, the local authority and Scotland as a whole. The population in 2020 was estimated at 22,891 this includes a larger area including Symington to the north of the town. The population of the town for this period was around 15,000 but the data prepared by Public health Scotland for the Prestwick locality is very comprehensive and has been used to give a general background to the needs of the local community and how this may determine what is being offered in the Hall.

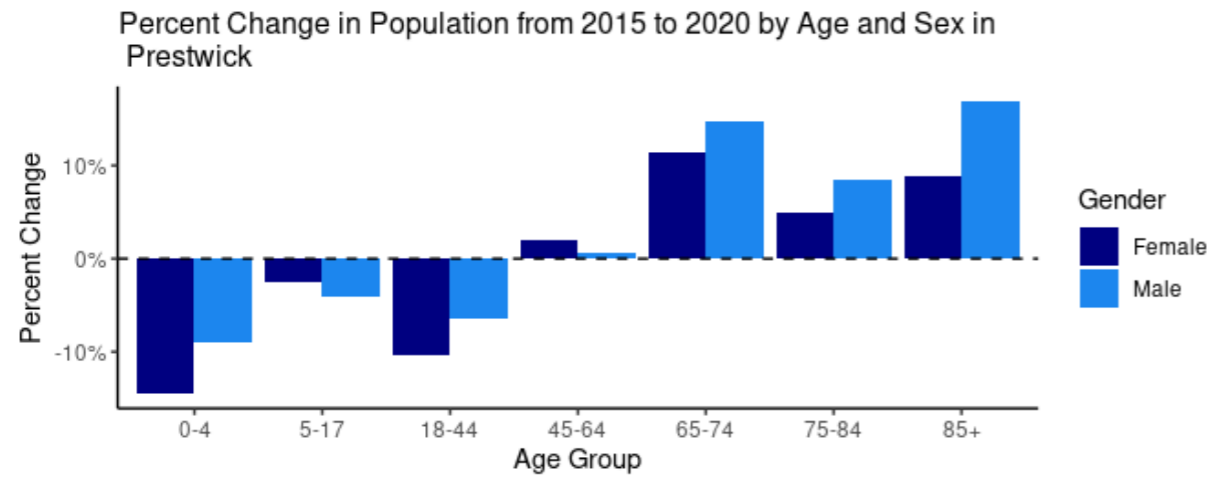
Indicators	Data Type	Time Period	Prestwick Locality	Ayr North and Former Coalfield Communities Locality	Ayr South and Coylton Locality	Girvan and South Carrick Villages Locality	Maybole and North Carrick Communities Locality	Troon Locality	South Ayrshire HSCP	Scotland
<b>Demographics</b>										
Total population	count	2020	22,891	20,054	31,058	9,252	10,034	18,851	112,140	5,466,000
Gender ratio male to female	ratio	2020	1:1.1	1:1.05	1:1.11	1:1.08	1:1.05	1:1.11	1:1.09	1:1.05
Population over 65	%	2020	26	19	29	27	24	28	26	19
Population in least deprived SIMD quintile	%	2020	19	0	33	0	0	39	20	20
Population in most deprived SIMD quintile	%	2020	2.7	59	6.3	23	6	11	17	20
<b>Housing</b>										
Total number of households	count	2020	11,124	10,417	15,011	4,965	4,905	9,368	55,790	2,653,521
Households with single occupant tax discount	%	2020	36	41	34	35	31	35	36	38
Households in Council Tax Band A-C	%	2020	40	84	34	73	56	45	52	59
Households in Council Tax Band F-H	%	2020	13	1.2	29	3.7	14	22	16	13
<b>General Health</b>										
Male average life expectancy in years	mean	2016-2020*	79	72.5	78.2	75.1	77.5	78.6	76.7	76.8
Female average life expectancy in years	mean	2016-2020*	82.1	77.1	82.1	82	81.5	82.3	81.1	81
Early mortality rate per 100,000	rate	2018-2020	114	284	98	127	134	141	149	116
Population with long-term condition	%	2019/20	27	28	28	28	26	27	27	19
Cancer registrations per 100,000	rate	2017-2019	598	635	617	635	634	565	607	644
Anxiety, depression & psychosis prescriptions	%	2019/20	21.59	28	21	25	20	19	22	20

Population breakdown in Prestwick.



Source: National Records Scotland

### Change in population structure over the last five years.



Source: National Records Scotland

### General Health

Summary:

For the most recent time periods available<sup>3</sup>, Prestwick Locality had:

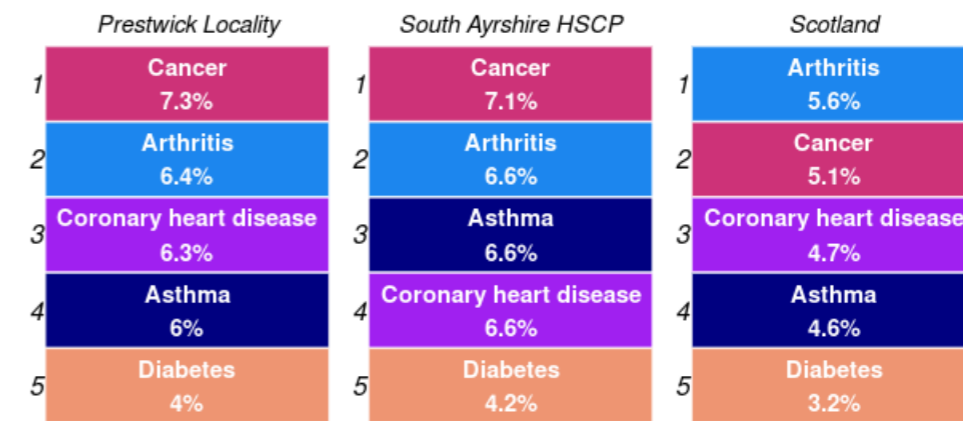
- An average life expectancy of 79 years for males and 82.1 years for females.
- A death rate for ages 15 to 44 of 114 deaths per 100,000 age-sex standardised population<sup>4</sup>
- 27% of the locality's population with at least one long-term physical health condition.
- A cancer registration rate of 598 registrations per 100,000 age-sex standardised population<sup>4</sup>
- 21.59% of the population being prescribed medication for anxiety, depression, or psychosis.

### Average Life Expectancy



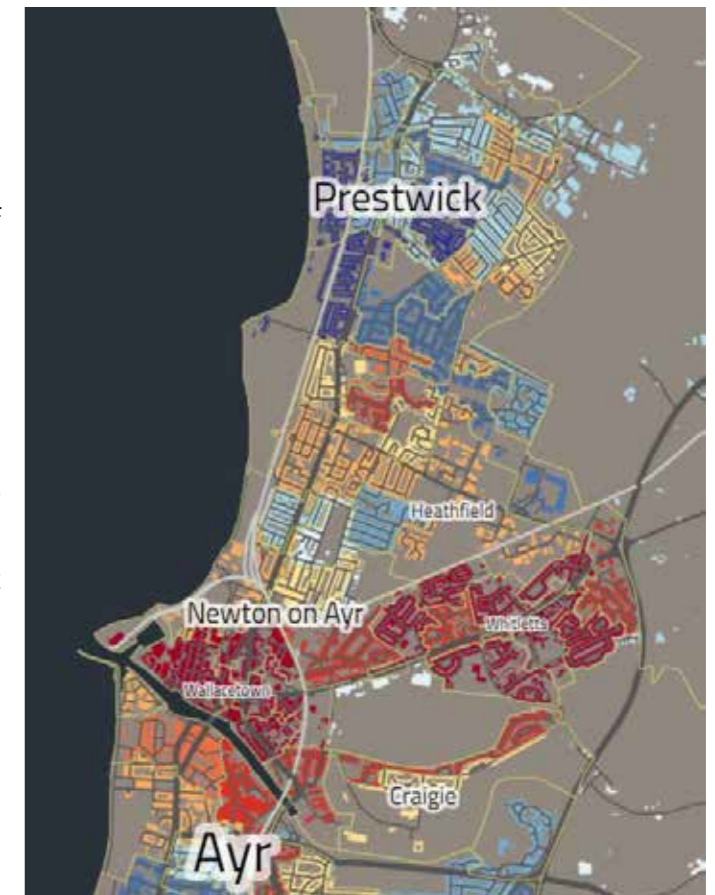
	Locality	Partnership	Health Board	Scotland
Female	82.1	81.1	80.3	81
Male	79	76.7	75.7	76.8

### Top 5 Physical Long-Term Conditions



### 3.2 Scottish Index of Multiple Deprivation

The Scottish Index of Multiple Deprivation (SIMD) ranks all datazones in Scotland by a number of factors; Access, Crime, Education, Employment, Health, Housing and Income. Based on these ranks, each datazone is then given an overall deprivation rank, which is used to split datazones into Deprivation Quintiles (Quintile 1 being the most deprived, and Quintile 5 the least). The most recent SIMD ranking was carried out in 2020. This section mainly focuses on the SIMD 2020 classifications, however the 2016 classifications are used to assess how deprivation has changed in Prestwick when compared to the rest of Scotland.



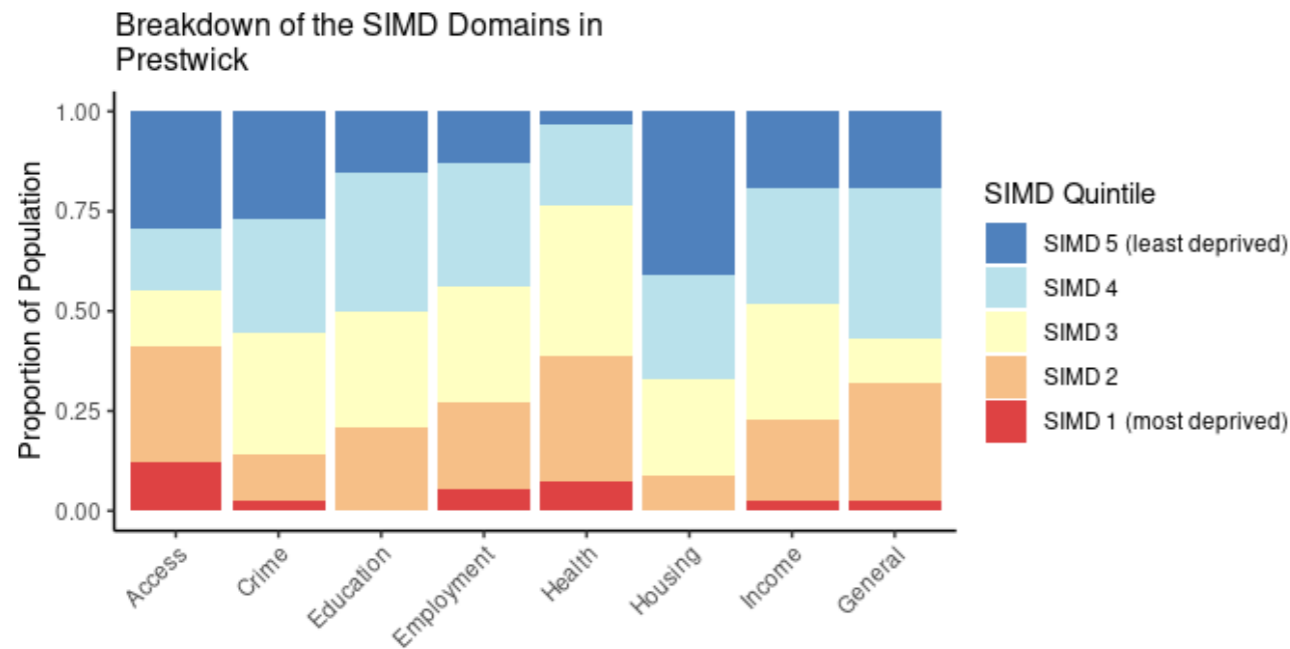
Of the 2020 population in Prestwick, 2.7% live in the most deprived SIMD Quintile, and 19% live in the least deprived SIMD Quintile. The following table details the percent of the population living in the 2016 SIMD Quintiles, the percent living in the 2020 SIMD Quintiles, and their difference for comparison.



3.2.1 Percentage population living in the 2016 and 2020 SIMD Datazone Quintiles

Quintile	Percent of Pop (2016)	Percent of Pop (2020)	Difference
SIMD 1	0.0%	2.7%	2.7%
SIMD 2	28.2%	29.2%	1.0%
SIMD 3	23.6%	11.2%	-12.4%
SIMD 4	34.7%	37.6%	2.9%
SIMD 5	13.4%	19.3%	5.9%

3.2.2 Proportion of the population that reside in each 2020 SIMD quintile by domain.



Source: Scottish Government, Public Health Scotland, National Records Scotland

## 4.0 DEMAND ANALYSIS

### 4.1 Previous Consultations 2015 Town Centre Charrette

In December 2015, South Ayrshire Council commissioned a team led by Willie Miller Urban Design to provide the expertise and organisation to facilitate and deliver the Talk Prestwick Town Centre Charrette.

#### 4.1.1 Background

The purpose of the Prestwick Town Centre Charrette was to assist South Ayrshire Council in its contribution towards the creation of visions for the regeneration of Prestwick Town Centre whilst taking into account the cross public sector commitment to the Town Centre First principle proposed by the National Review of Town Centres and on the potential links between spatial planning and community planning.

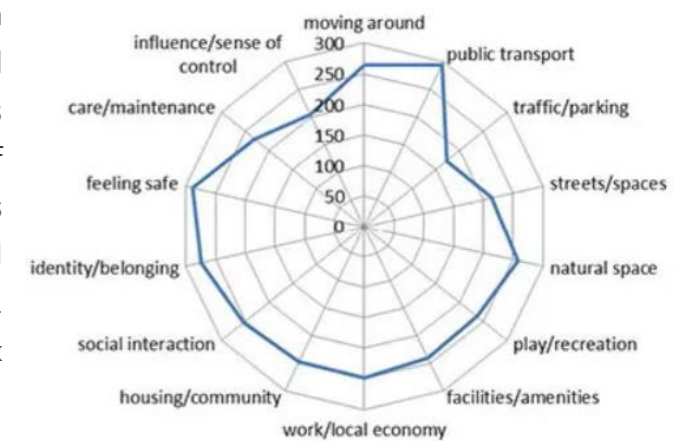
#### 4.1.2 Talk Prestwick Charrette Session

Throughout February and March 2016 a series of Charrette animation activities, events, and workshops were carried out which aimed to not only promote the upcoming Talk Prestwick Charrette but also to identify the emerging themes, highlight potential projects, and gather an insight into the key locations requiring focus during the charrette. The Charrette was held in mid March 2016. The programme and themes of each session were:

1. What is happening in Prestwick?
2. Working in Prestwick – Enterprise and Youth
3. Working in Prestwick – Businesses
4. Living in Prestwick – Health and Social Care, Recreation and Leisure
5. Heritage and Building Vacancy – Land, Buildings and Civic Pride

#### 4.1.3 The Scottish Government's Place Standard Tool

The Charrette used the Scottish Government's Place Standard Tool as means of recording impressions of the town as well as a means of starting broader conversations about the town than the usual subject areas. The results from 52 members of the Prestwick community are shown here.



#### 4.1.4 Emerging Projects

From the outset, the Charrette was very project orientated. Initially, over 200 ideas were recorded representing policy changes, physical projects, ideas for better service delivery and thoughts about promoting the town through events and apps. These were eventually grouped into around 40 projects spanning 8 themes:

1. **Main Street and The Cross:** the former Broadway Cinema, a Conservation Area proposal, replacing the steeple on the Freeman's Hall and developing small civic spaces.
2. **The Seafront and Promenade:** beach huts, saving the beach, watersports, wiki-shelters, a cycle café, events programme, exercise machines and a maze.
3. **Parking Access and Movement:** a bus stop relocation, cycling plan, a low-speed environment and parking management.
4. **Arts and Culture:** events for civic spaces, festivals and events, a pop-up cinema and studio space.
5. **Health and Social Care:** a carer's café, community hub, inter-generational day care centre, skills academy in social care, walking routes, a community garden and a dementia-friendly town.
6. **Enterprise and Employment:** better career management, developing a civic economy, developing Scotland's Aerospace Capital and a Voice for Business.
7. **Marketing and Communications:** a community portal, golf tourism, Prestwick Pride and signage + wayfinding.
8. **Heritage:** a new Heritage Trail and a social history project.

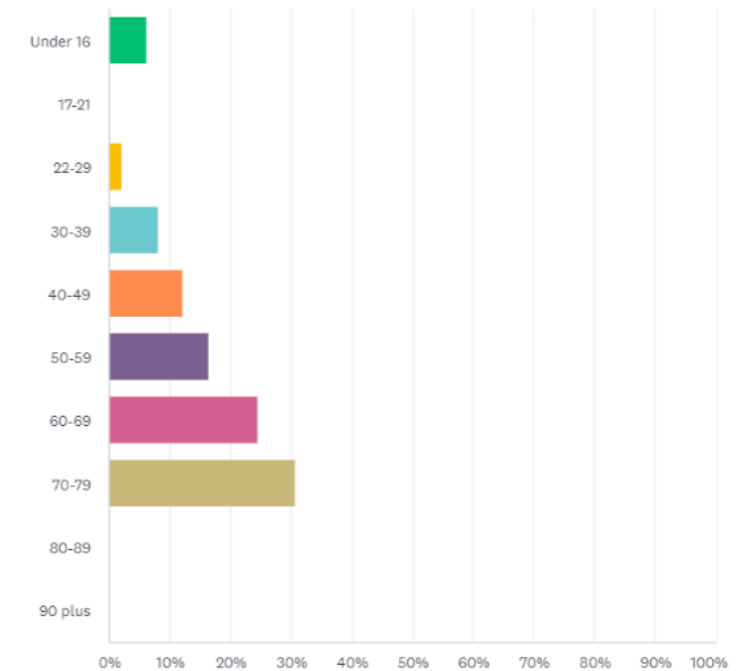
#### 4.2 Freeman's Hall Survey Results from Doors Open Day Event



#### 4.2.1 Sample

Almost 60 local residents and a few tourists attended the Doors Open day held on Sunday 10<sup>th</sup> September 2023 between 10.00am and 4.30pm, with 49 individuals completing the survey. 56% were female and 44% were male with 94% living in a KA9 postcode for Prestwick.

The demographic breakdown shows a range of ages which have the two most common groups in the older age brackets with 70-79 years being the most common. In Prestwick in 2021 23% of the population were above retirement age.

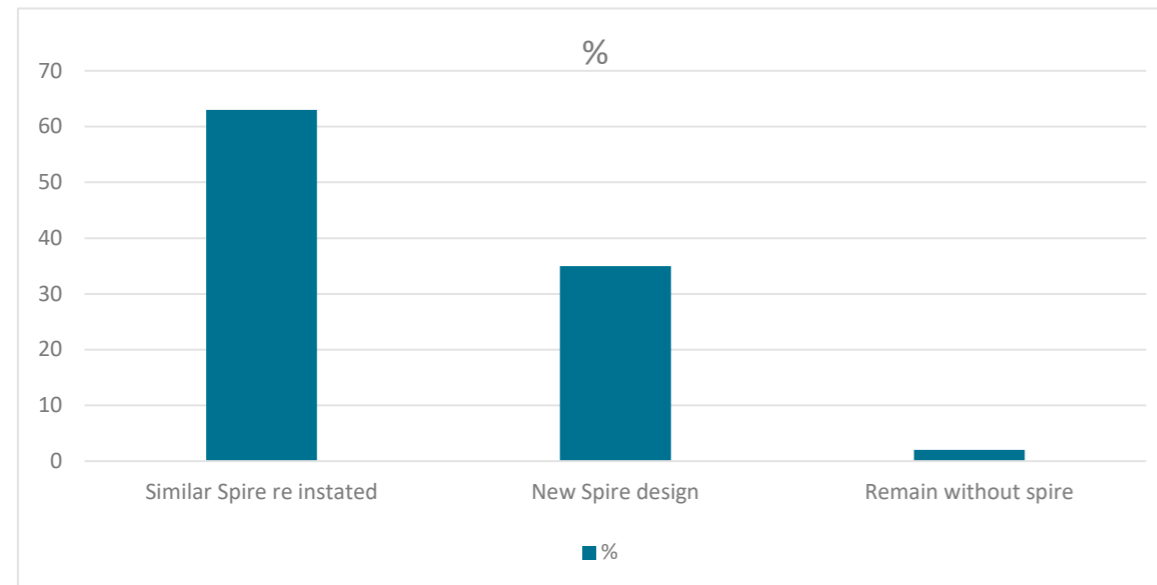


#### 4.2.2 Spire Options



Of those completing the survey, 63% considered that a spire similar to that removed should be re instated with 35% favouring a new design of spire to reflect Prestwick on

2023, only 2% felt the building should remain as it is currently.



#### 4.2.3 Spire Comments

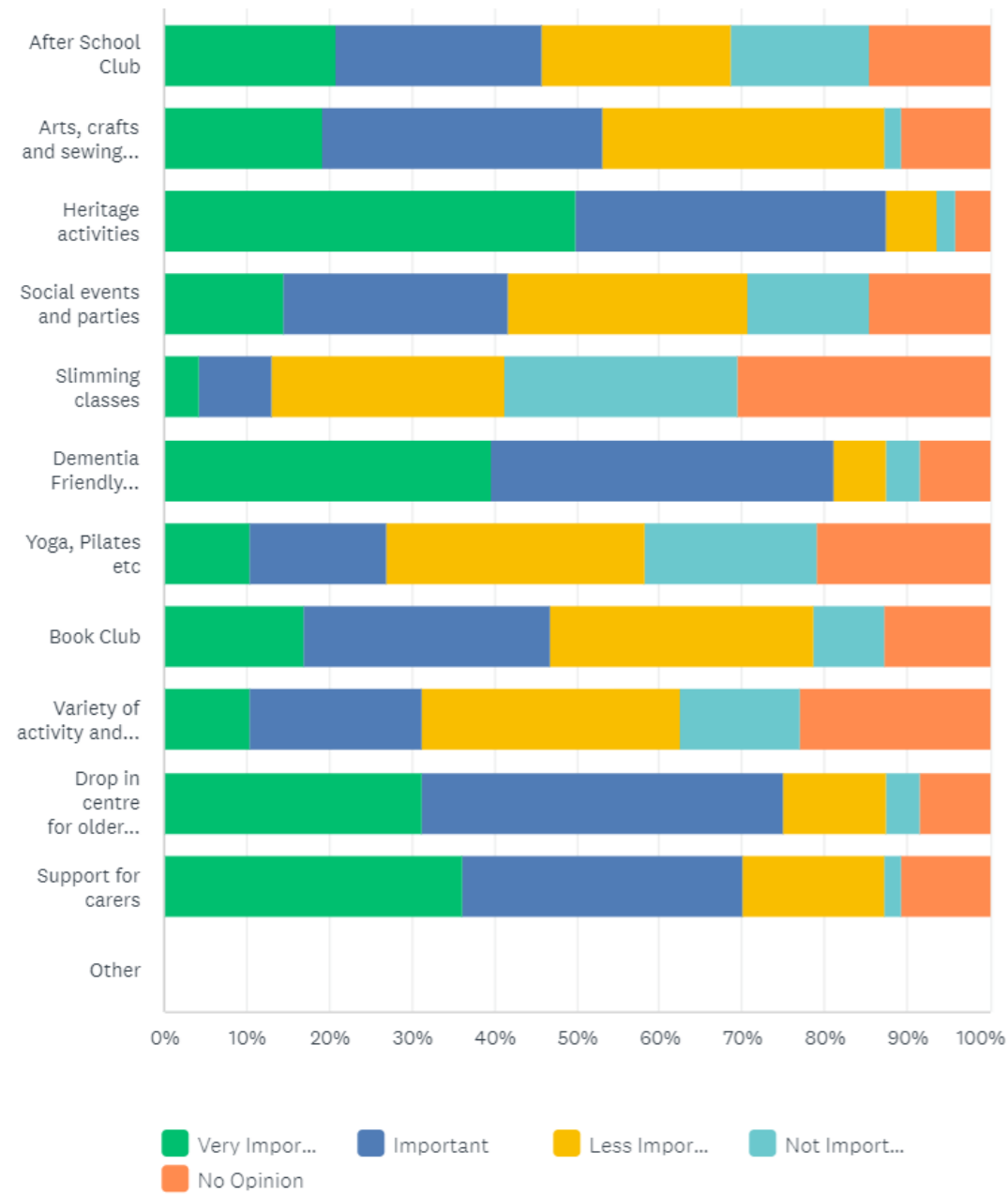
Participants provided a wide variety of suggestions, either in support of re introducing the old style spire, or for the introduction of a new design. Many expressed interest in being part of the process that considered future options.

- Restore steeple as it was
- Restore building integrity, as a new steeple is likely to be divisive
- A clock would be a great idea, old spire preferred, something that would crown the building
- Spire needed to complete the building
- As similar as possible
- It's important to return to as near as possible to original. An electric clock to replace the mechanical one.
- If they can use the original stone and clocks
- Ideally reinstate old spire, but should a new design be sympathetic and ecologically beneficial, then yes! Cost implications will be very important.
- Spire was fab as it was, the skyline of Prestwick is missing it.
- Definitely preserve the appearance of the original building as part of Prestwick heritage. Maybe the clocks could reflect a modern twist? But not the spire.
- Metal designed spire
- Go for something contemporary
- A new design would be better supported by the community
- Original would be best
- Bring back the old one!
- All buildings evolve
- About time steeple was replaced

- It should be exactly the same, what was there was perfect.
- Without a spire the building will be forever truncated. I am not bothered whether it is an old or new design but it needs something.
- The original intended design if possible, sympathetic to rest of the building. (subtle changes if necessary)
- Would be nice to have something that joins the old with the new
- 4 clock faces
- Spire in Metal
- 4 faced steeple with clock, heritage is everything
- Combine next door cottages in future plans
- The original intended design should be reinstated if possible
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- Spire need to complete the building
- Something with a modern twist
- The building suffered from poor maintenance and appeared to not be properly looked after. The original steeple should be replaced as it was however it should not be paid for by the Common Good Fund
- A modern iron steeple would be appreciated by me, but I know I shall be very much in the minority with this view, my house was damaged by the removal of the steeple.

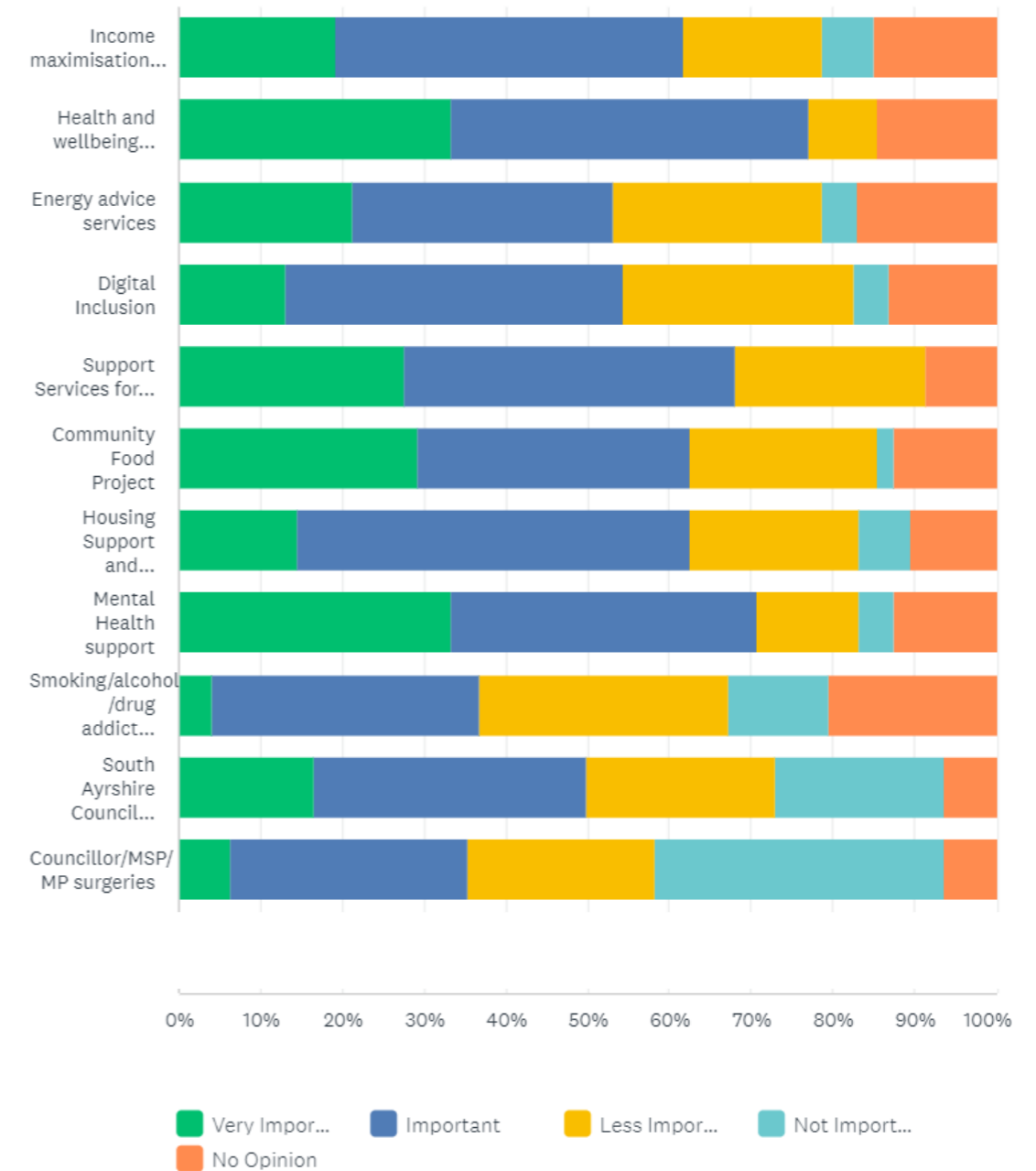
#### 4.2.4 Potential Future Activities at the Freeman's Hall

The graphic below highlights what respondents considered most important activities that could take place in the Freeman's Hall in the future. Heritage activities were viewed as very important by almost 50% with 90% seeing this as very/important. The next three activities were all linked around health and care for older residents, something that reflects the respondents, but also reflects the older demographic population profile for the town. The second most popular activities were those related to Dementia, followed by support for carers and Drop in Centre for elderly residents. While plans are being organised for the hall itself, these are all activities which could take place in the adjacent cottages.



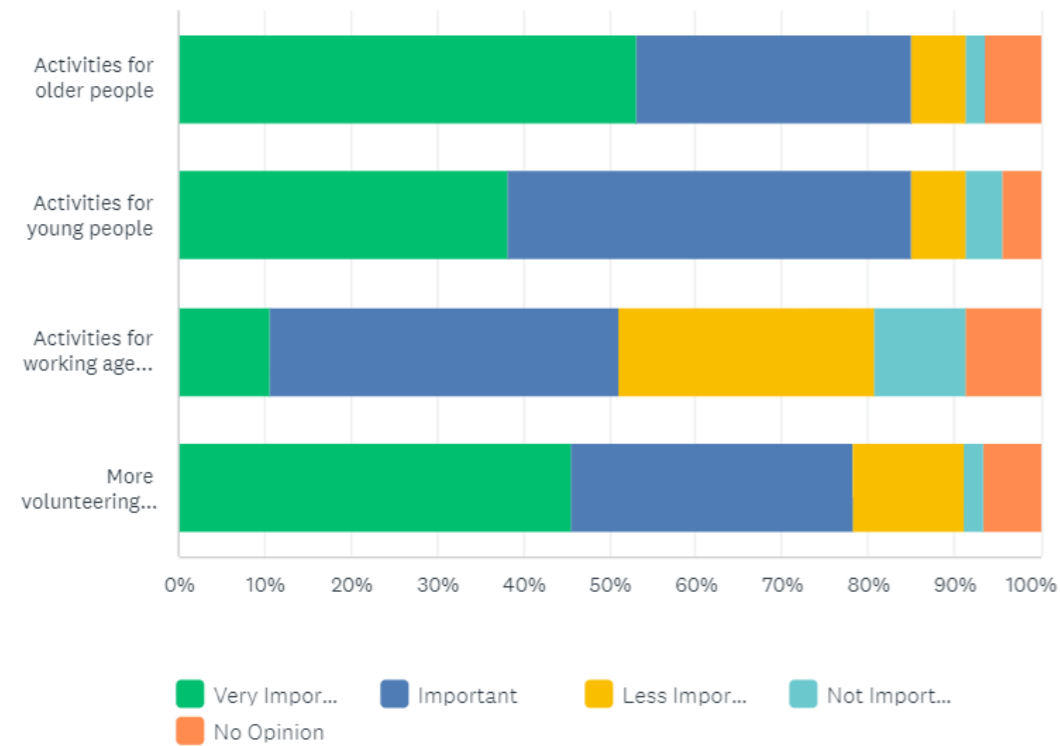
#### 4.2.5 Potential Future services at Freman's Hall

Services which scored highest were again those themed around those linked to improving and supporting health. Health and Well Being Services scored highest in the first two categories followed by Mental Health Support, Support Services for Children and Families, Community Food Project and Housing Support and Advice . These services could be delivered both from the Hall and the adjacent cottages.



#### 4.2.6 General Activities

Activities for older people were seen as most important, closely followed by activities for young people, much less significant were activities for the working age population. Respondents were also very keen on ensuring there were more volunteering opportunities with whatever was planned with 45% considering this to be very important.



#### 4.2.7 Anything else you think is important for the future of the Freeman's Hall

Respondents we asked if there was anything else they thought important regarding the future of the hall which provide a wide variety of responses covering future use and the importance of the building for and within the town.

- Preferable to have a community use for the building if viable rather than have private/public offices.
- Tourism centre, heritage gateway including golf
- A meeting location for voluntary youth organisations eg scouts and guides
- Need a clear reflection of the buildings history and importance to Prestwick.
- Make sure the building is very accessible and welcoming
- Not much for teenagers to do in Prestwick, this could be a good space for them.
- As a local head teacher, I really feel that our local teenagers need a protected space
- The buildings of historical value and I would like to see a historical use of the building for the people of Prestwick and visitors to the area.
- As someone running a community organisation it seems to me there are plenty of spaces for such services to operate from. This hall is a landmark building

which should be used for landmark events such as performances, festivals and similar. Prestwick is very short of decent performance spaces of any size. This one has heritage on its side.

- Any purpose should be as multi generational as possible. Try to preserve any original interior fixtures that remain and maintain the exterior stonework to prevent further deterioration.
- Museum of Prestwick history, showplace for Prestwick artists work, unplugged music events
- Would just like to see optimum use of the premises
- Would be great to see it used as a small venue for performers
- Should be a museum
- A number of the activities are already available in other SAC locations in Prestwick, the community centre is also a space that can be used
- Whatever the decision is, please take parking into consideration and noise levels. Please consider the neighbours.

## 5.0 BUILDING DESIGN

### 5.1 Developing the Brief

The brief for development of the new Prestwick Freeman's Hall building was developed by Prestwick Civic Pride, South Ayrshire Council, local residents and South Ayrshire Health & Social Care Partnership. The brief reflects evidence of needs and demands and based on consultation with, potential stakeholders and the wider community. Various design options were considered to provide and appropriate facilities and address the requirements of SAHSCP, existing potential users from the local community and wider agencies.

### 5.2 Building Requirements

Odonnell Brown Architects facilitated discussion and research with SAHSCP, Prestwick Civic Pride and Prestwick residents, to identify the following requirements from the existing hall including the adjacent cottages and potentially car parking to the rear.

Specific elements of the facility	<ul style="list-style-type: none"> <li>• A reception area, capable of being moved to increase flexibility of front space;</li> <li>• Meeting spaces that could be accessed separately if required for class/community use;</li> <li>• Small snack prep area;</li> <li>• Storage areas for chairs/tables etc</li> <li>• Storage areas for equipment</li> <li>• Private interview room</li> <li>• Outdoor activity/meeting space</li> </ul>
Specific features	<ul style="list-style-type: none"> <li>• Full accessibility;</li> <li>• Internet access;</li> <li>• An effective heating system;</li> <li>• Appropriate toilet facilities and disabled toilets;</li> <li>• Security entry and alarm systems;</li> </ul>
Design features	<ul style="list-style-type: none"> <li>• Plenty of natural light;</li> <li>• Good ventilation</li> <li>• A warm and welcoming ambience.</li> </ul>

### 5.3 Design Objectives

These plans not only allow partners to maintain the range of services described previously but also do the following:

- Provide services in a healthier and more conducive environment.
- Extend the range of services (provide services to wider group of people).
- Increase the number of people who receive services.
- Provide a community facility that is a "hub" for the local community by bringing in a range of new service providers.
- Generate increased revenues from new activities

- Deliver an eco-friendly building that both keeps costs to a minimum and reduces any carbon footprint.

### 5.4 Outline Designs



## 6.0 PROJECT MANAGEMENT

### 6.1 Prestwick Freeman's Hall Management

Prestwick Freeman's Hall and cottage could be a good example of partnership working, bringing together the complementary strengths of South Ayrshire Council, and South Ayrshire Health & Social Care Partnership which have established systems in place for successful building led regeneration and commitment to address wider needs with Prestwick Civic Pride which has a track record in managing community projects and the delivery of grassroots community services.

### 6.2 Building Management

Throughout the development period, South Ayrshire Council will own the Prestwick Freeman's Hall cottages and will take full responsibility for property management in terms of inspection, maintenance and management of both internal and external fabric and building insurances. All services (electricity, gas, water, sewerage, control systems and associated contracts) will lie with the responsibility of SAC and the successful contractor. If major works take place in the future then it may be appropriate for SAC to enter into a long term lease arrangement with Prestwick Civic Pride in order that large scale funding can be attracted.

## 7.0 PROJECT FINANCE

### 7.1 Capital Costs and Funding

A capital cost estimate for the project will be drawn up by qualified and experienced Quantity Surveyors based on the final proposal developed by the Design Team. Potential funders for such designs may include:

#### Capital Funding Plan for Prestwick Freeman's Hall and Cottages

	2024/2025	2025/26	Total
<b>South Ayrshire Council</b>	100,000	100,000	200,000
<b>Regeneration Capital Grant Fund Requested</b>		800,000	800,000
<b>Heritage Lottery</b>		100,000	1000,000
<b>HES</b>	100,000		100,000
<b>Donations</b>		10,000	10,000
<b>Landfill Tax fund</b>		75,000	75,000
<b>Clothworkers Fund</b>		25,000	25,000
<b>Levelling up fund</b>		50,000	50,000
<b>Total</b>	<b>200,000</b>	<b>1,160,000</b>	<b>1,360,000</b>

## 8.0 RISK ANALYSIS

As in any significant development of this nature there are a number of risks that need to be identified along with appropriate mitigating points and strategies. These key risks and mitigating strategies are tabulated below:

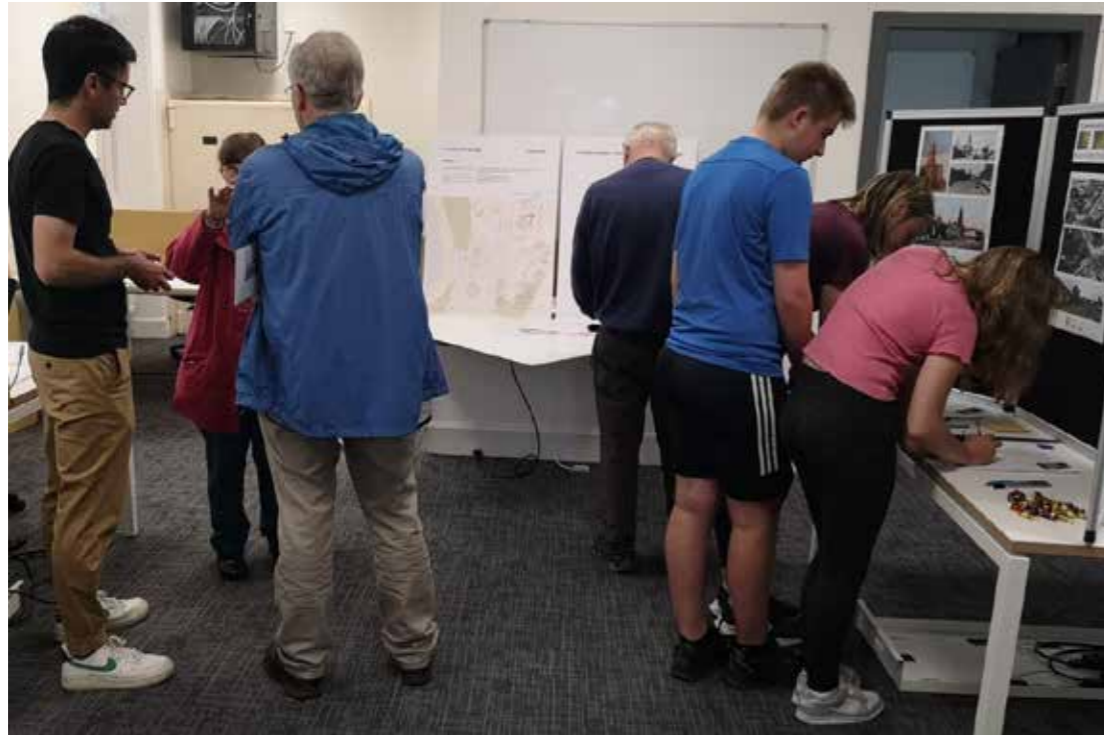
Risk	Mitigating Strategy
Ability to raise the considerable capital funding required	This is a central risk of this project but we believe that there are a number of factors in our favour including the demonstrable outcomes that we can show, the needs of the Prestwick community and the need for community facilities to form part of the planned regeneration in this area.
Access to the land in the context of the planned regeneration or delays in the regeneration of the area	Indications from South Ayrshire Council have been that the land requirements can be made available but this situation will continue to be monitored.
Prestwick Civic Pride's ability to project manage a development of this nature	Prestwick Civic Pride have considerable experience of operating a variety of projects and with a very good Management Board, are confident that they will be able to cope with the diverse issues associated with operating the former Prestwick Freeman's Hall and associated cottages.
Achievement of usage that we are projecting	Our research shows the potential demand for services amongst the wider community if suitable capacity was available. The new community facility nature of what we are proposing will place us at the center of the community and encourage enhanced footfall.
Prestwick Civic Pride's ability to manage a building of this nature on an ongoing basis	Prestwick Civic Pride recognise the challenges of this and have reflected on the need for potential staffing resources.





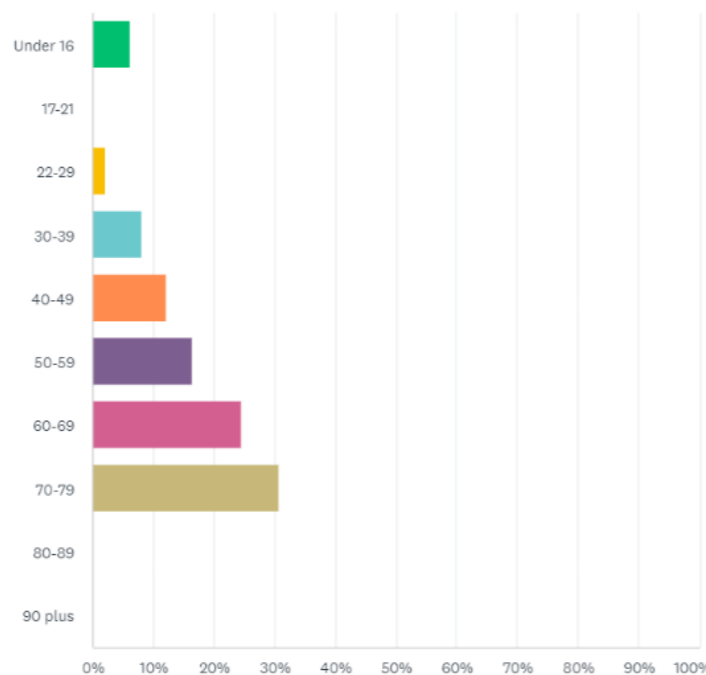
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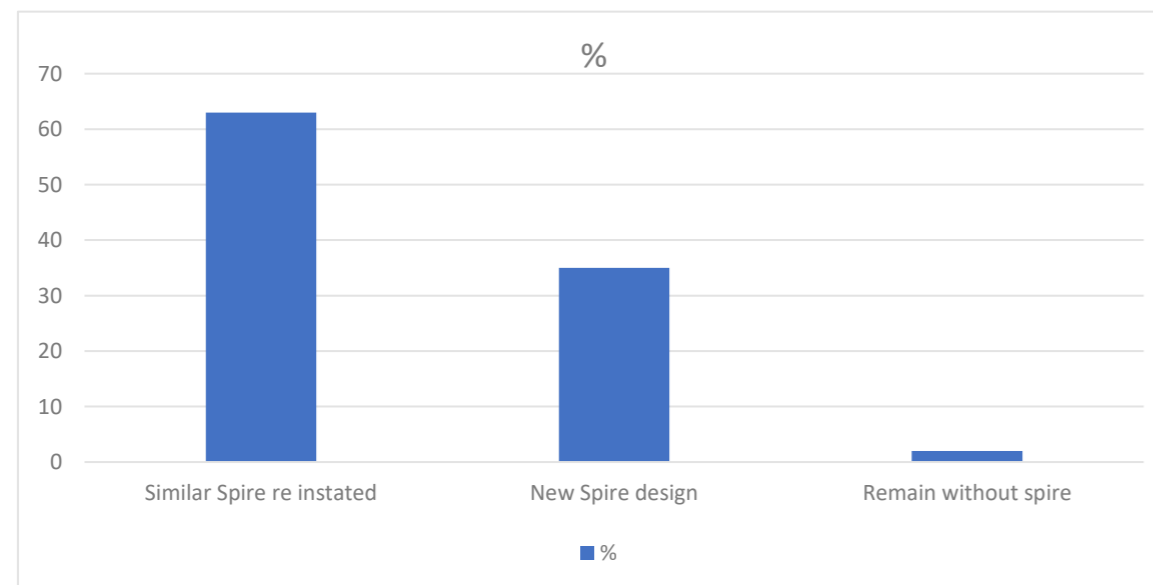
## Appendix 07 Community Consultation Survey Results

The following pages comprise the 'Freeman's Hall Survey Results from Doors Open Day Event', as prepared by Community Links Scotland, describes the findings from the Public Consultation held on Sunday 10<sup>th</sup> September 2023.

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## Spire Comments

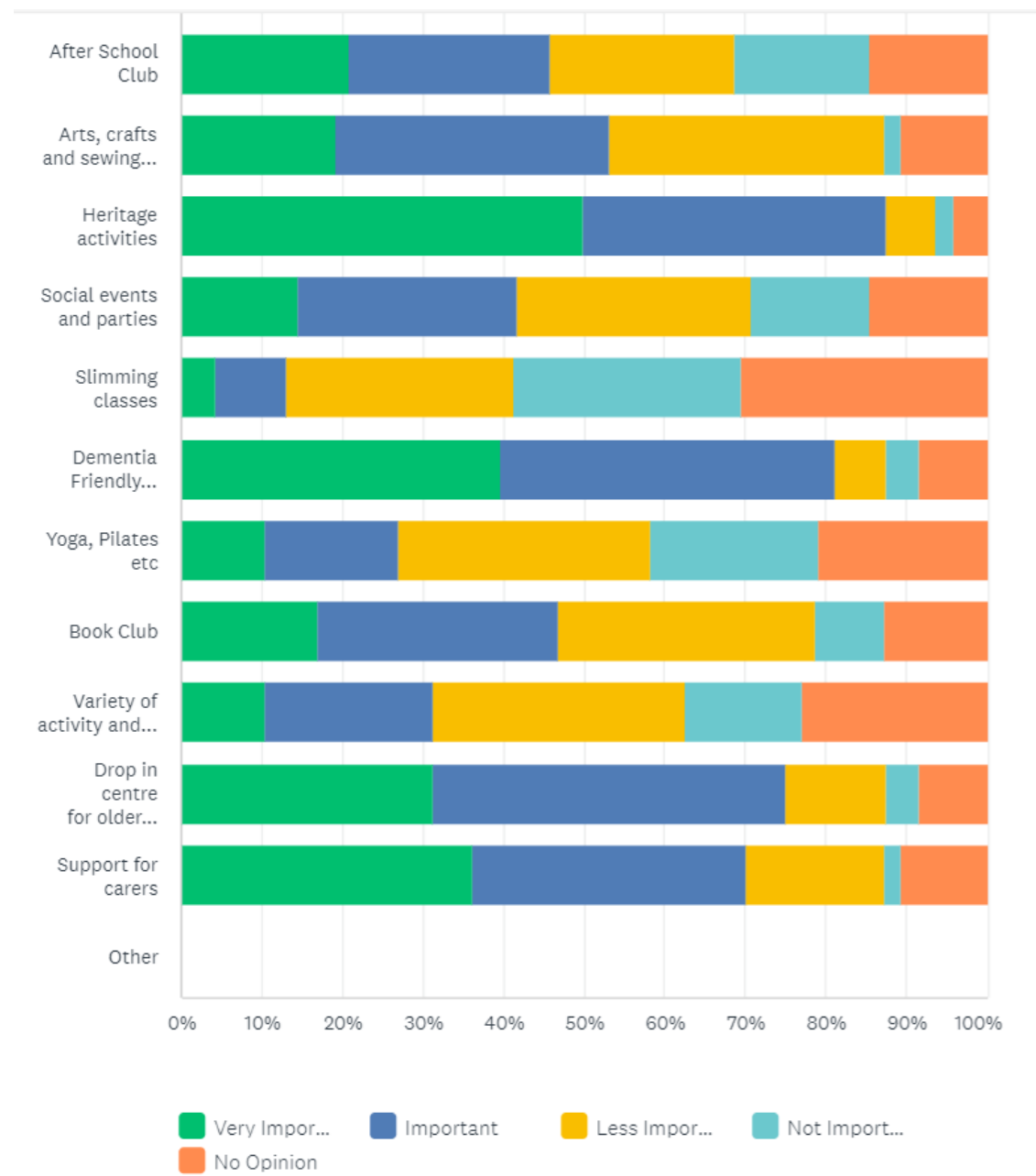
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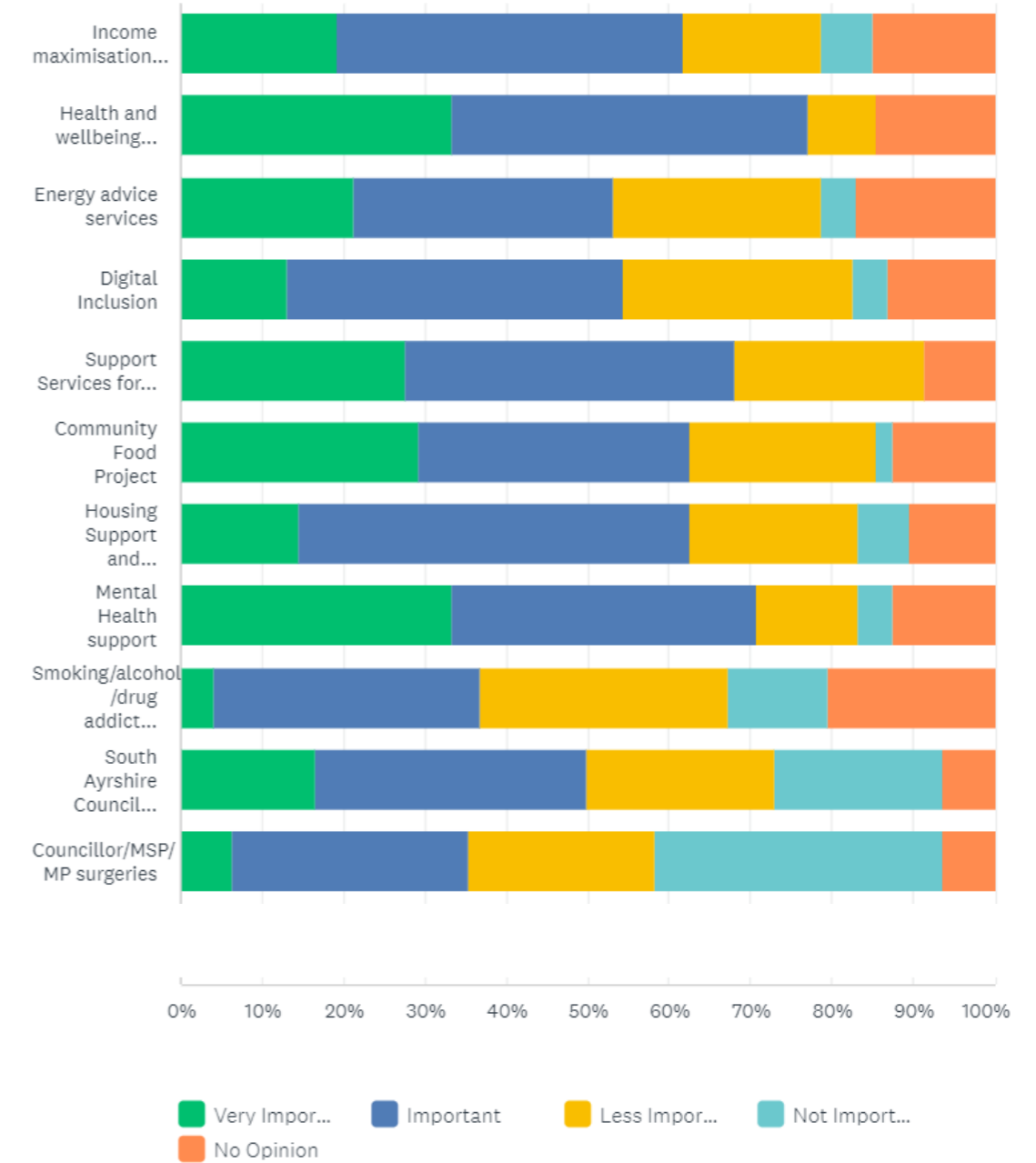
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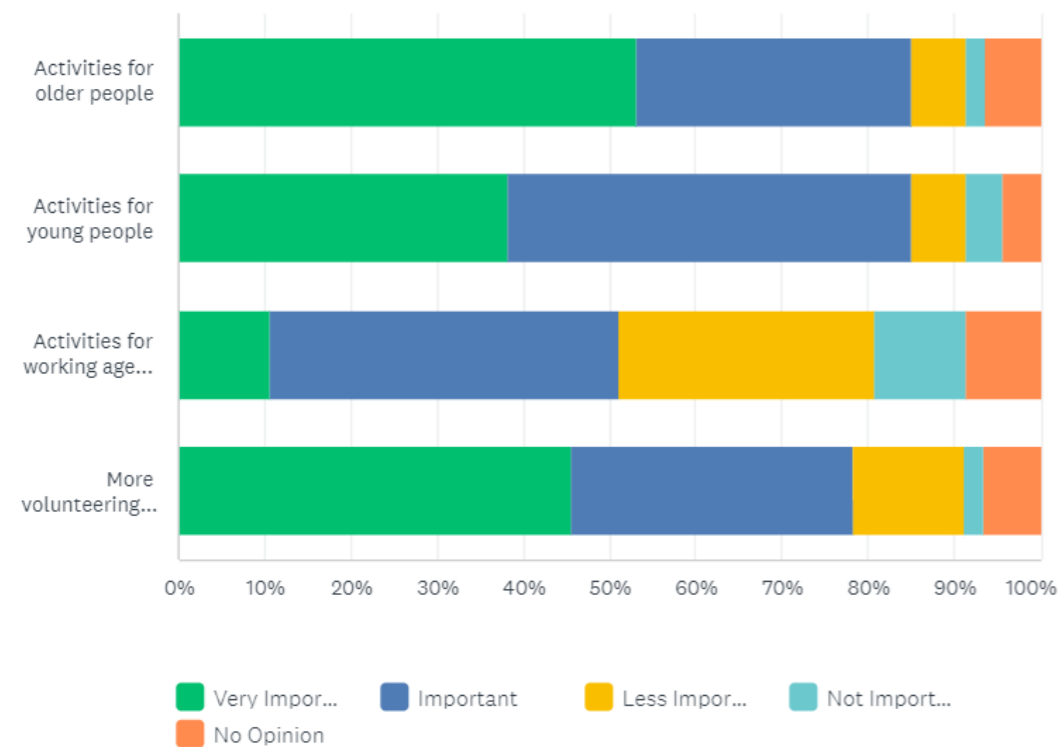
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