

SOUTH AYRSHIRE COUNCIL

LOCAL REVIEW BODY

NOTE OF CURRENT POSITION

Site Address:	22 Gailes Road, Troon, South Ayrshire, KA10 6TA
Application:	24/00070/APP ALTERATIONS AND EXTENSION OF A DWELLINGHOUSE

Appointed Officer's Decision:	Approved with Conditions
Date Notice of Review Received:	21 May 2024

Current Position:	New Case for Review
Documentation:	The following documents in relation to the review are attached: Pages 1 to 5 – Report of Handling Pages 6 to 10 – Notice of Review Pages 11 to 28 - Original Planning Application (including plans and photographs) Pages 29 to 31 – Decision Notice Pages 32 to 35 – Case Officer Photographs
New Material:	No
Additional Material Any other Comments:	N/A
Dated:	June 2024

Report of Handling of Planning Application

The Council's Scheme of Delegation can be viewed at <https://www.south-ayrshire.gov.uk/planning-application-process>

Reference No:	24/00070/APP
Site Address:	22 Gales Road Troon South Ayrshire KA10 6TA
Proposal:	Alterations and extension to dwellinghouse
Recommendation:	Approval with Condition(s)

REASON FOR REPORT

This report fulfils the requirements of Regulation 16, Schedule 2, paragraphs 3 (c) and 4 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013. The application has been determined in accordance with the Council's Scheme of Delegation as well as the Procedures for the Handling of Planning Applications.

Key Information:

- The application was received on 1 February 2024.
- The application was validated on 1 February 2024.
- Neighbour Notification, under Regulation 18 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, was carried out by the Planning Authority on 2 February 2024.
- A Site Visit was carried out by the Planning Authority on 11 March 2024.
- No Site Notice was required.
- No Public Notice in the Local Press was required.

1. Site Description:

The application site comprises a detached dwellinghouse located at 22 Gales Road, Barassie. The property is finished with white, rendered walls, a concrete tile roof and uPVC windows and doors.

2. Planning History:

05/01293/FUL - Alterations and extension to dwellinghouse - Permitted - February 2005
06/00142/FUL - Alterations and extension to dwellinghouse - Permitted - February 2006
08/00251/FUL - Alterations and extension to dwellinghouse - Refused - September 2008

3. Description of Proposal:

Planning permission is sought to alter and extend the rear of the property by way of the formation of two dormer windows, one to the front and one to the rear of the property. Full details are set out within the plans submitted.

4. Consultations:

No consultations were undertaken for this application.

5. Submitted Assessments/Reports:

In assessing and reporting on a Planning application the Council is required to provide details of any report or assessment submitted as set out in Regulation 16, Schedule 2, para 4(c) (i) to (iv) of the Development Management Regulations.

None.

6. S75 Obligations:

In assessing and reporting on a Planning application the Council is required to provide a summary of the terms of any Planning obligation entered into under Section 75 of The Town and Country Planning (Scotland) Act in relation to the grant of Planning permission for the proposed development.

None.

7. Scottish Ministers Directions:

In determining a Planning application, the Council is required to provide details of any Direction made by Scottish Ministers under Regulation 30 (Directions requiring consultation), Regulation 31 (Directions requiring information), Regulation 32 (Directions restricting the grant of Planning permission) and Regulation 33 (Directions requiring consideration of condition) of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, or under Regulation 50 (that development is EIA development) of The Town and Country Planning (Environmental Impact Assessment) (Scotland) Regulations 2017.

None.

8. Representations:

No representations were received.

9. Development Plan:

On 13 February 2023, Scottish Ministers published and adopted National Planning Framework 4 ('NPF4'). NPF4 sets out the Scottish Ministers position in relation to land use Planning matters and now forms part of the statutory development plan, along with the South Ayrshire Local Development Plan 2 ('LDP2') (adopted August 2022).

Sections 25(1) and 37(2) of The Town and Country Planning (Scotland) Act 1997 (as amended) indicates that in making any determination under the Planning Acts, regard is to be had to the development plan. The determination shall be made in accordance with the plan unless material considerations indicate otherwise. The application is determined on this basis.

Legislation states that in the event of any incompatibility between a provision of NPF4 and a provision of an LDP, whichever of them is the later in date is to prevail (The Town and Country Planning (Scotland) Act 1997 ("the 1997 Act"); Section 24(3)). NPF4 was adopted after the adoption of LDP 2, therefore NPF4 will prevail in the event of any incompatibility.

National Planning Framework 4 (NPF4)

The following policies of NPF4 are relevant in the assessment of the application and can be viewed in full online at [National Planning Framework 4 - gov.scot \(www.gov.scot\)](http://www.gov.scot):

With regard to householder development proposals, Policy 16(g) outlines that such proposals will be supported where they:

- i. do not have a detrimental impact on the character or environmental quality of the home and the surrounding area in terms of size, design and materials; and
- ii. do not have a detrimental effect on the neighbouring properties in terms of physical impact, overshadowing or overlooking.

Overall, it is considered that the proposed alterations and extension accord with the provisions of NPF4. This is explained elsewhere in this report.

The provisions of NPF4 must, however, be read and applied as a whole, and as such, no policies should be read in isolation. The application has been considered in this context.

South Ayrshire Local Development Plan 2

The following policies of the South Ayrshire Local Development Plan 2 are relevant in the assessment of the application and can be viewed in full online at [Local development plan 2 - South Ayrshire Council \(south-ayrshire.gov.uk\)](https://www.south-ayrshire.gov.uk):

- LDP 2 Policy: Strategic Policy 1: Sustainable Development
- LDP 2 Policy: Strategic Policy 2: Development Management
- LDP 2 Policy: Residential Policy within Settlements, Release Sites and Windfall Sites

The provisions of the Adopted South Ayrshire Local Development Plan 2 must, however, be read and applied as a whole, and as such, no single policy should be read in isolation. The application has been considered in this context.

An assessment of the proposals against the provisions of Local Development Plan 2 is set out below.

10. Other Relevant Policy Considerations (including Government Guidance):

South Ayrshire Council's Planning Guidance on House Alterations and Extensions is a material consideration that needs to be taken into account when determining relevant planning applications. It sets out standards that should be followed when altering or extending an existing building by way of dormer extension(s). The main points to consider in determining applications for dormer windows are, inter alia:

- Large areas of cladding on the front should be avoided and dormers should be set away from the gables, hips and down from the roof ridge in order that the roofline might be retained unaltered. The dormer should not project above the ridge of the roof.
- Dormers should be so placed as to form a definite relationship with the main features in the building's façade and should normally line through and be symmetrical with other windows and doors.
- Windows forming part of the dormer should reflect the style and proportion of existing windows and notwithstanding the desired internal layout; the windows should be positioned at dormer extremities.
- Continuous box dormers (i.e. two or more rooms linked) will not generally be permitted, especially on front elevations

An assessment against the aforementioned guidance is set out, below.

11. Assessment (including other material considerations):

In assessing applications for dormer windows, the Council are required to consider the location, design, scale and general appearance of the dormer windows, together with the nature of the scale & appearance of the individual property. As set out above, the Council's Planning Guidance for Alterations and extensions to dwellinghouses has specific guidance relating to dormer windows.

Rear dormer:

The proposed rear dormer window does not accord with the above guidance in that it is a continuous box dormer (linking two or more rooms), it does not form a definite relationship or line through with the main features of the existing dwellinghouse and it features large areas of metal cladding. However, it is sited on the rear elevation, shall aspect over the rear garden and is located in excess of 15 metres off the rear boundary. The rear garden is fully enclosed by a timber fence, mature vegetation and various ancillary buildings all ranging in height from 1.8 metres to in excess of 3 metres.

While the proposed rear dormer window does not meet with the provisions of the aforementioned guidance, it is acknowledged that there will be limited views of the rear dormer, particularly when viewed outwith the application site from Gales Road. Given the limited visual amenity impact that the proposed rear dormer will have on Gales Road, it is considered that an exception to the guidance can be made in this instance.

In terms of residential amenity impact, it is considered that the rear dormer will not create adverse overlooking issues by virtue of its orientation and distance separation from neighbouring properties.

Front dormer:

Again, the proposed front dormer window, does not accord with the above guidance in that it is a continuous box dormer (linking two or more rooms), it does not form a definite relationship or line through with the main features of the existing dwellinghouse and it features large areas of metal cladding.

While there are other properties located on Gales Road which have dormer windows located on their front elevations, it does not automatically follow that an exception to the aforementioned guidance can be made in this instance. Indeed, a number of the existing dormer windows which aspect Gales Road accord with the guidance noted above, while others appear as historic developments. The purpose of the aforementioned guidance is to promote and encourage appropriate development and it is considered that a suitably re-designed dormer window on the dwelling's principal elevation could be supported. During the assessment case officer contacted the applicant's agent to express concern over the front dormer's. Unfortunately, the applicant's agent sought that the application be determined as submitted and, as such, it is considered necessary to condition out the dormer window proposed on the dwelling's principal elevation.

For reasons noted above, the proposed dormers are considered to cause a detrimental impact to visual amenity of the existing locale.

Therefore, it is considered prudent to attach a condition to the permission to exclude the proposed front dormer window from the approval, allowing the proposed rear dormer to progress.

Given the above and having balanced the applicant's rights against the general interest, it is recommended that the application be approved subject to conditions.

12. Recommendation:

It is recommended that the application is approved with the following condition(s):

Conditions and Reasons:

- (1C) That the development hereby granted shall be implemented in accordance with the approved plan(s) as listed below and as forming part of this permission unless a variation required by a condition of the permission or a non-material variation has been agreed in writing by the Planning Authority.
- (1R) **Reason:** *To ensure that the development is carried out in accordance with the approved plans unless otherwise agreed.*
- (2C) That the development hereby permitted must be begun within **three years** of the date of this permission.
- (2R) **Reason:** *To be in compliance with Section 58 of The Town and Country Planning (Scotland) Act 1997 as amended by Section 32 of The Planning (Scotland) Act 2019.*
- (3C) That notwithstanding the terms of condition 1 above, no permission is hereby approved for the formation of the dormer window proposed on the dwellinghouse's front elevation.
- (3R) **Reason:** *To define the terms of the permission.*

Advisory Notes:

- (1) The development could be in an area where there are gas mains and services. Please see the link below for further information and actions required of you:

Planning decisions - South Ayrshire Council (<https://www.south-ayrshire.gov.uk/planning-decisions>)

List of Plans Determined:

Plan Type	Reference	Version No.	Received Date
Drawing	Location Plan		01.02.2024
Drawing	L(01)01 - Elevations and section As existing		01.02.2024
Drawing	L(01)01 - Floor plans As existing		01.02.2024
Drawing	L(--)01		01.02.2024
Drawing	L(2-)01		01.02.2024
Drawing	L(2-)02		01.02.2024

Reason for Decision (where approved):

The siting and design of the development hereby approved is considered to accord with the provisions of the development plan and there is no significant adverse impact on the amenity of neighbouring land and buildings.

The explanation for reaching this view is set out in the Report of Handling and which forms a part of the Planning Register.

Equalities Impact Assessment:

An Equalities Impact Assessment is not required because the proposed development is not considered to give rise to any differential impacts on those with protected characteristics.

<i>Decision Agreed By:</i>	<i>Appointed Officer</i>
<i>Date:</i>	<i>8 May 2024</i>



County Buildings Wellington Square Ayr KA7 1DR Tel: [REDACTED] Email: [REDACTED]

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100659176-002

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Munro Architects Ltd.		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Munro	Building Name:	
Last Name: *	Architects	Building Number:	23
Telephone Number: *		Address 1 (Street): *	Portland Road
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Kilmarnock
Fax Number:		Country: *	Scotland
		Postcode: *	KA1 2BT
Email Address: *			

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mrs	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	c/o Munro Architects
First Name: *	S	Building Number:	23
Last Name: *	Hughes	Address 1 (Street): *	Portland Road
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Kilmarnock
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	KA1 2BT
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

South Ayrshire Council

Full postal address of the site (including postcode where available):

Address 1:

22 GAILES ROAD

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

TROON

Post Code:

KA10 6TA

Please identify/describe the location of the site or sites

Northing

633171

Easting

232808

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Alterations and extension to dwelling house

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

The proposed front dormer has been refused. Other houses on the same street have similar and larger dormers. We assert that precedent has been set for approval of the front dormer. See separate sheet "Appeal against imposition of Condition 3 of Planning Permission 24/00070/APP".

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Appeal against imposition of Condition 3 of Planning Permission 24/00070/APP Appeal Photos 1 and 2 Papers apart A and B
Munro Architects drawing 23.25-SK02 Front Elevation As Proposed

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

24/00070/APP

What date was the application submitted to the planning authority? *

01/02/2024

What date was the decision issued by the planning authority? *

10/05/2024

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure *

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

A site inspection will clearly demonstrate the precedence set by nearby properties on provision of the proposed dormer to the front elevation.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Munro Architects Ltd Munro Architects

Declaration Date: 21/05/2024

Appeal against imposition of Condition 3 on Planning Consent N° 24/00070/APP

22 Gailes road, Troon KA10 6TA, Mr & Mrs Hughes

Whilst it is acknowledged that the proposed front facing dormer does not accord in every respect with South Ayrshire Council's Supplementary Planning Guidance "Dormer Windows", the Local Review Body will be able to see that, on the same street, there are dormers which occupy a much greater proportion of the roof than the one proposed for Mr & Mrs Hughes. These do not follow the design guidance at all.

See Appeal Photographs 1 and 2 attached.

Precedent has been set.

See also an example of a large box dormer on a building at Auchincruive which was approved on appeal (**Paper Apart A**). This house affects the setting of the Category A listed building known locally as the Tea House. This setting is very much more sensitive than that at Gailes Road.

Mr & Mrs Hughes do not want to leave the area but do need additional accommodation for their current and future family needs. Extending the first floor area is the most convenient and expedient means of achieving this.

When the house was built there was virtually no insulation installed, as was the case 60 or 70 years ago. The house is consequently hard (and now, expensive) to heat. Mr & Mrs Hughes would have the opportunity if the work can go ahead, to install roof insulation to almost every area of roof, which is not possible at present without removing plasterboard and interior finishes.

The front dormer proposed was set away from the gables. There are no hips. It was set down from the roofline, which remained unaltered. The dormer did not project above the ridge.

The Council's design **guidance** (guidance is just that, not a mandatory set of rules) suggests that "Dormers should be so placed as to form a definite relationship with the main features in the building's façade and should **normally** line through and be symmetrical with other windows and doors." This should not exclude asymmetrical alignment.

The windows do reflect the style and proportion of the bungalow's 1960s fenestration.

The framing of the front dormer had been kept to a minimum and where glass was not required, dark grey cladding in small panels was proposed. These were recessed to the glass line so that the overall appearance would have been a dark grey/black rectangle. (Windows in daylight appear very dark in appearance.)

See sheet of photographs illustrating the black nature of windows in daylight (**Paper Apart B**). Also **Munro Architects Ltd's drawing no 23.25 SK(02)** showing colour rendition of the front elevation as proposed.

Curiously to Munro Architects at least, one guidance note states that "Dormer extensions greater in size than that which the Council regards as being necessary....". Surely it is for the home owners to decide what is necessary?

In summary, we believe that it is patently unfair to the applicants that the proposed dormer should not be allowed when, just along the same side of the road, much larger ones have been allowed in the past.

Mr & Mrs N Hughes, 22 Gailes Road, Barassie, Troon KA10 6TA
Appeal to Local Review Body against Imposition of Condition 3C
On Planning Consent 24/00070/APP dated 10 May 2024

Appeal photograph 1

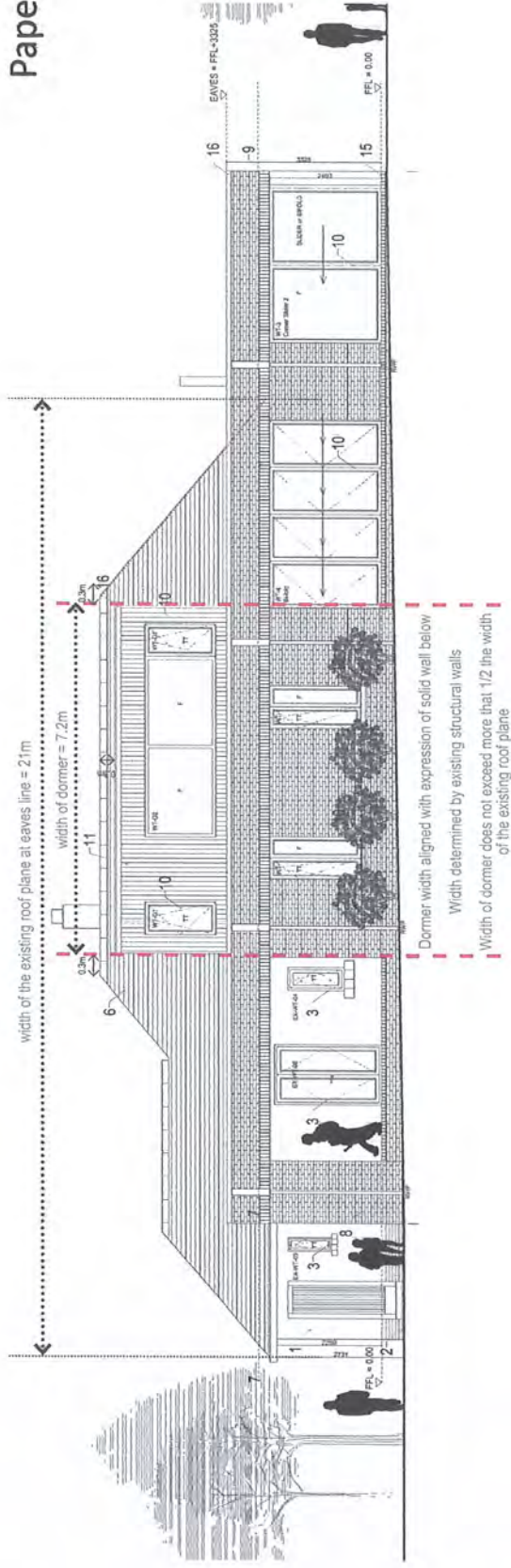


This photograph shows houses at nos 42 and 44 Gailes road, Barassie.

These dormers occupy approximately the same roof area as the dormer proposed for Mr & Mrs Hughes' property.

Note also the large areas of cladding on the front elevation.

Note too the use of dissimilar materials for the dormer cladding on both houses.



Review of SAC policy on Rural Housing Policy guidance on Dormers

- Large areas of cladding on the front should be avoided and dormers should be set away from the gables, hips and down from the roof ridge in order that the roofline remains unaltered - the design is compliant
- The dormer should not project above the ridge of the roof - the design is compliant
- Dormers should generally be located to the rear of the building outwith general public view, although in some instances the Council recognises that front dormers can contribute to the overall design of the new building - the design is compliant
- Dormers should be so placed as to form a definite relationship with the main features in the building's facade and should normally line through and be symmetrical with other windows and doors - the design is compliant - see above
- Windows forming part of the dormer should reflect the style and proportion of existing windows and, notwithstanding the internal layout desired, the windows should be positioned at the dormer extremities - the design is compliant - see above
- Dormers should be clad to reflect the roof finish of the dwellinghouse in terms of materials, colour, texture and size - the design is compliant - dark grey Central cladding to match slate
- Timber clad dormers are not normally acceptable especially on more traditional properties the design is compliant as we are using Central Cladding
- Dormers should have a traditional appearance normally with a hipped or gabled roof and reflect the character of the building and area - the design of the dormer reflects the style and proportion of the modern rear extension

Review of Additional Guidance from Supplementary Planning Guidance (SPG) DORMER WINDOWS

General Guidance Relating to all Properties and Buildings:

- Continuous box dormers (i.e. two or more rooms linked) will not generally be permitted, especially on front elevations - the design is compliant in the sense that it only serves 1 room
- Dormer extensions greater in size than that which the Council regard as being necessary will be considered in the context of the property's scale, appearance and design and the streetscape in general - this point open for interpretation

Review of Guidance on Householder Permitted Development Rights - Section 4. MAKING CHANGES TO A DWELLINGHOUSE – ENLARGEMENT OF THE ROOF - page 34

- 4.49 The development cannot be part of the roof forming the principal elevation or side elevation if that elevation is fronting a road - the design is compliant
- 4.50 Any enlargement or alteration to a roof is likely to have a visual impact and potentially cause overlooking. The development must be at least 10 metres from the boundary that it fronts - the design is compliant
- 4.51 The dormer must not exceed half the width of the roof plane (the width of the roof plane is measured at the eaves line). The development must be at least 0.3 metres from the edge of the roof plane - the design is compliant
- 4.52 The overall height of the dwellinghouse cannot be increased as a result of the development. This is measured against the existing ridge of the roof - the design is compliant

Dormer Design Justification



Random photographs showing that in daylight windows appear black. The dark grey solid panels at each side of the dormer would have presented the same appearance as the glass.

A much better visual appearance than the existing situation reproduced below.





County Buildings Wellington Square Ayr KA7 1DR Tel: [REDACTED] Email: [REDACTED]

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100659176-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Description of Proposal

Please describe accurately the work proposed: * (Max 500 characters)

Roof alteration resulting in addition and/or alteration of dormers to add bathroom and room and to increase existing two bedrooms.

Has the work already been started and/ or completed? *

No Yes - Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Munro Architects Ltd.		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Munro	Building Name:	
Last Name: *	Architects	Building Number:	23
Telephone Number: *		Address 1 (Street): *	Portland Road
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Kilmarnock
Fax Number:		Country: *	Scotland
		Postcode: *	KA1 2BT
Email Address: *			

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Other	You must enter a Building Name or Number, or both: *	
Other Title:	Mr & Mrs	Building Name:	
First Name: *	blank	Building Number:	22
Last Name: *	Hughes	Address 1 (Street): *	Gailes Road
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Troon
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	KA10 6TA
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

South Ayrshire Council

Full postal address of the site (including postcode where available):

Address 1:

22 GAILES ROAD

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

TROON

Post Code:

KA10 6TA

Please identify/describe the location of the site or sites

Northing

633171

Easting

232808

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

≤ Yes No

Trees

Are there any trees on or adjacent to the application site? *

≤ Yes No

If yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Access and Parking

Are you proposing a new or altered vehicle access to or from a public road? *

≤ Yes No

If yes, please describe and show on your drawings the position of any existing, altered or new access points, highlighting the changes you proposed to make. You should also show existing footpaths and note if there will be any impact on these.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

≤ Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Munro Architects

On behalf of: Mr & Mrs blank Hughes

Date: 30/01/2024

Please tick here to certify this Certificate. *

Checklist – Application for Householder Application

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

- a) Have you provided a written description of the development to which it relates? * Yes No
- b) Have you provided the postal address of the land to which the development relates, or if the land in question has no postal address, a description of the location of the land? * Yes No
- c) Have you provided the name and address of the applicant and, where an agent is acting on behalf of the applicant, the name and address of that agent? * Yes No
- d) Have you provided a location plan sufficient to identify the land to which it relates showing the situation of the land in relation to the locality and in particular in relation to neighbouring land? *. This should have a north point and be drawn to an identified scale. Yes No
- e) Have you provided a certificate of ownership? * Yes No
- f) Have you provided the fee payable under the Fees Regulations? * Yes No
- g) Have you provided any other plans as necessary? * Yes No

Continued on the next page

A copy of the other plans and drawings or information necessary to describe the proposals (two must be selected). *

You can attach these electronic documents later in the process.

Existing and Proposed elevations.

Existing and proposed floor plans.

Cross sections.

Site layout plan/Block plans (including access).

Roof plan.

Photographs and/or photomontages.

Additional Surveys – for example a tree survey or habitat survey may be needed. In some instances you may need to submit a survey about the structural condition of the existing house or outbuilding. Yes No

A Supporting Statement – you may wish to provide additional background information or justification for your Proposal. This can be helpful and you should provide this in a single statement. This can be combined with a Design Statement if required. * Yes No

You must submit a fee with your application. Your application will not be able to be validated until the appropriate fee has been Received by the planning authority.

Declare – For Householder Application

I, the applicant/agent certify that this is an application for planning permission as described in this form and the accompanying Plans/drawings and additional information.

Declaration Name: Munro Architects Ltd Munro Architects

Declaration Date: 31/01/2024

Payment Details



Created: 31/01/2024 15:28

23.25/i/001

January 2024

ALTERATION OF ROOF

22 GAILES ROAD
TROON KA10 6TA

STATEMENT

The owners require to increase the accommodation of the house, mainly to include a bathroom at first floor level and a multi-use room, as well as extending the usable floor space of both existing bedrooms.

It is proposed to include the additional volume in two dormers, as large box dormers are an existing feature in the area.

Please see below some of the examples in the same street and close to the house.

Munro Architects

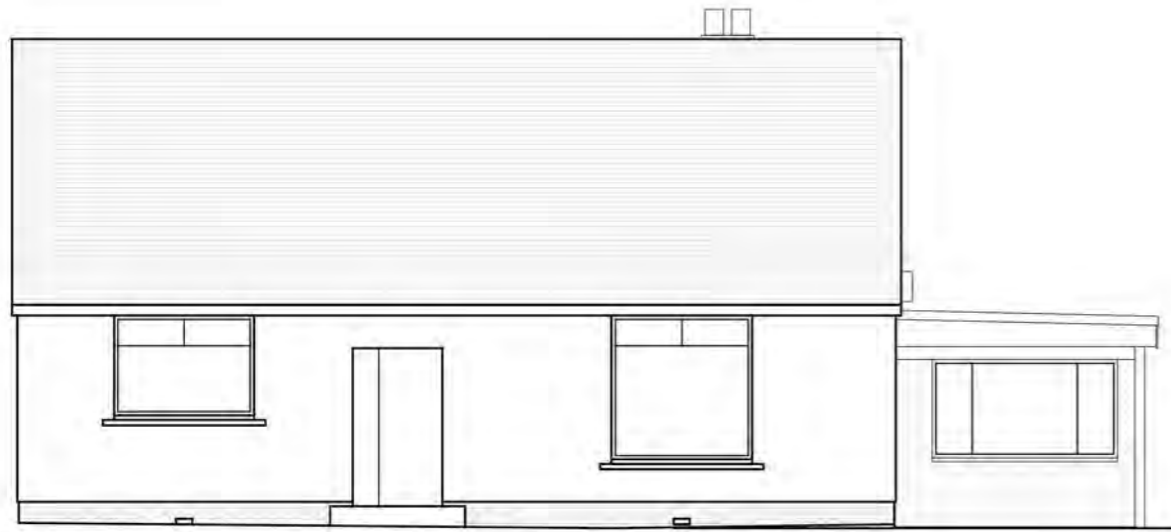




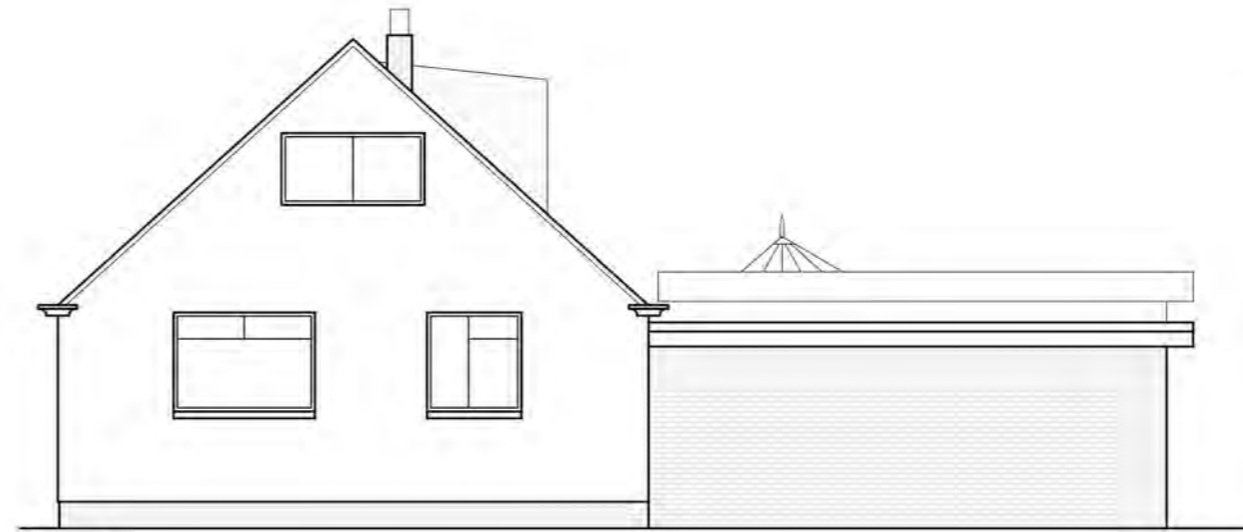
Notated dimensions and/or levels to be used only. All dimensions and/or levels must be site checked by the contractor prior to commencing construction work. Any discrepancies must be reported to the Architect. No assumptions to be made regarding this drawing.

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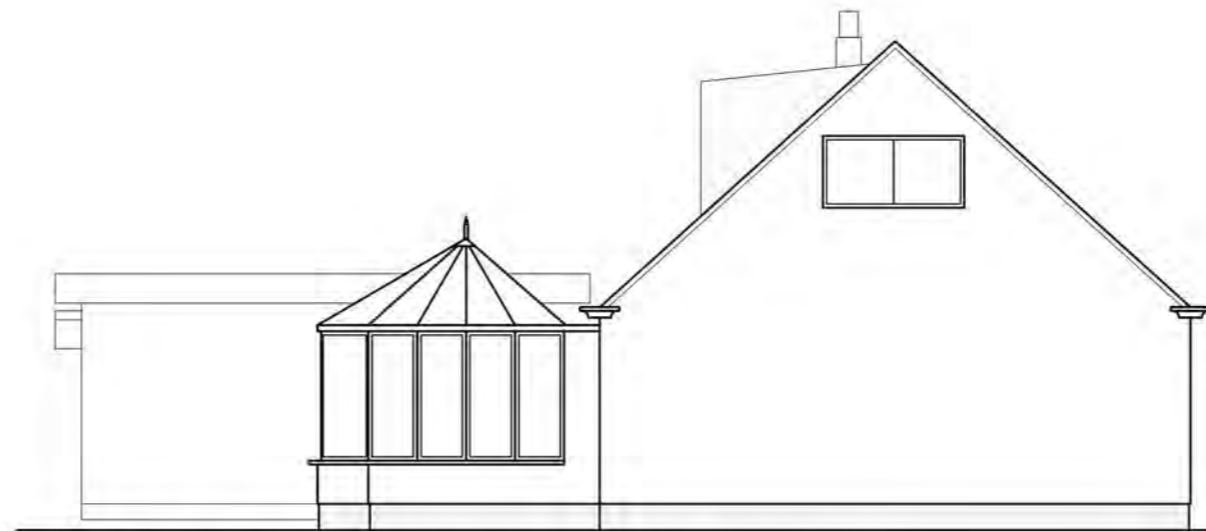
01 Front elevation - As existing
(01)02 1:100



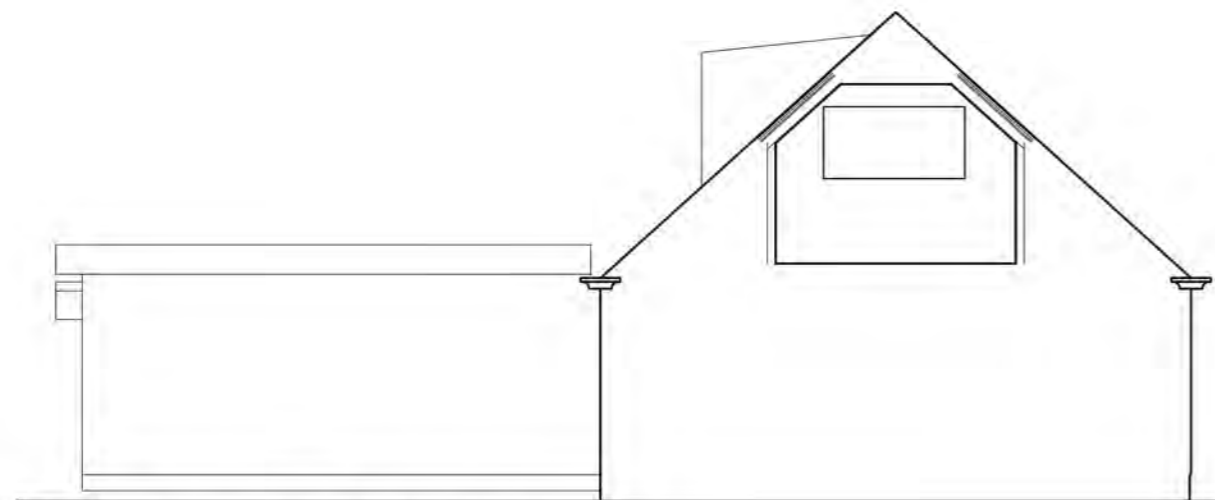
02 Side (South) elevation - As existing
(01)02 1:100



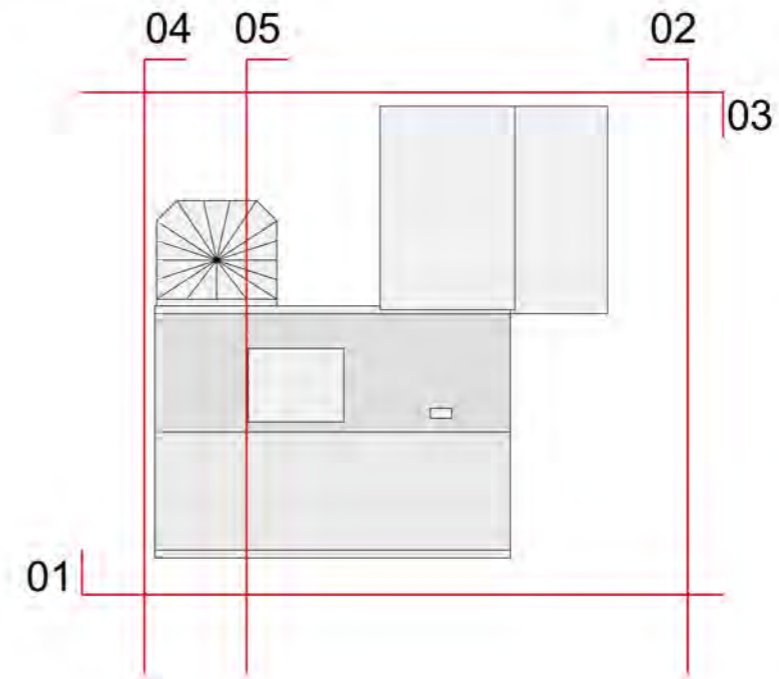
03 Rear elevation - As existing
(01)02 1:100



04 Side (North) elevation - As existing
(01)02 1:100



05 Section - As existing
(01)02 1:100



**South Ayrshire Council
Planning Service**
Approved under The Town and Country Planning (Scotland) Act 1997 (as amended), in accordance with the plans submitted and subject to any conditions that may be specified in the notification of this decision by South Ayrshire Council.

rev. | date | details | drawn | checked

issued for: **CONSENTS**

project no. drawing no. revision

23.25 L(01)01 -

project / client:

Susan Hughes
22 Gailes Road
Troon, KA10 6TA

drawing: scale:

Elevations and section 1:100@A3

As existing drawn by: date:

PE 29.09.23

checked by: date:

- -

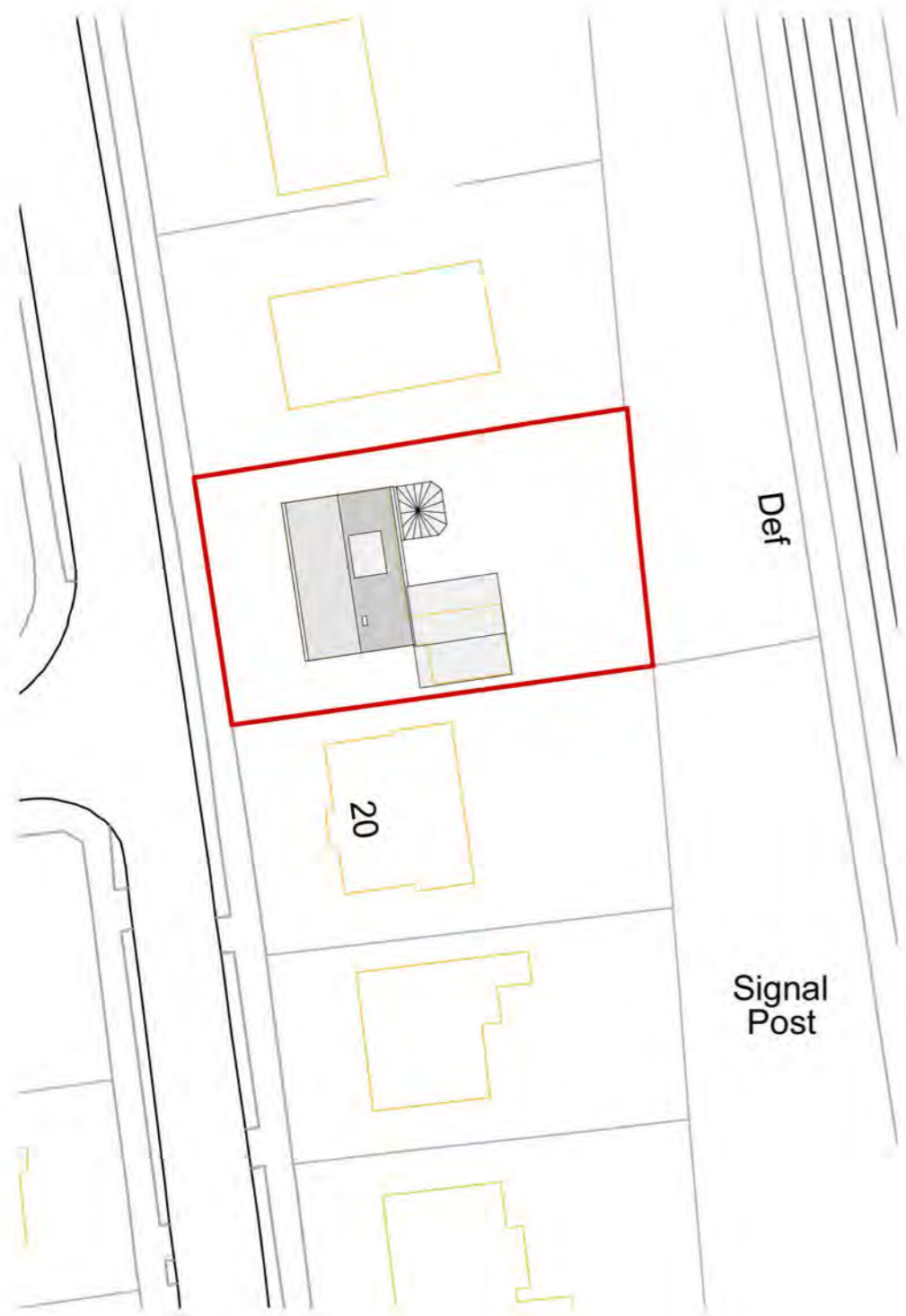
**munro
ARCHITECTS**

Munro Architects Ltd
23 Portland Road
Kilmarnock
KA1 2BT

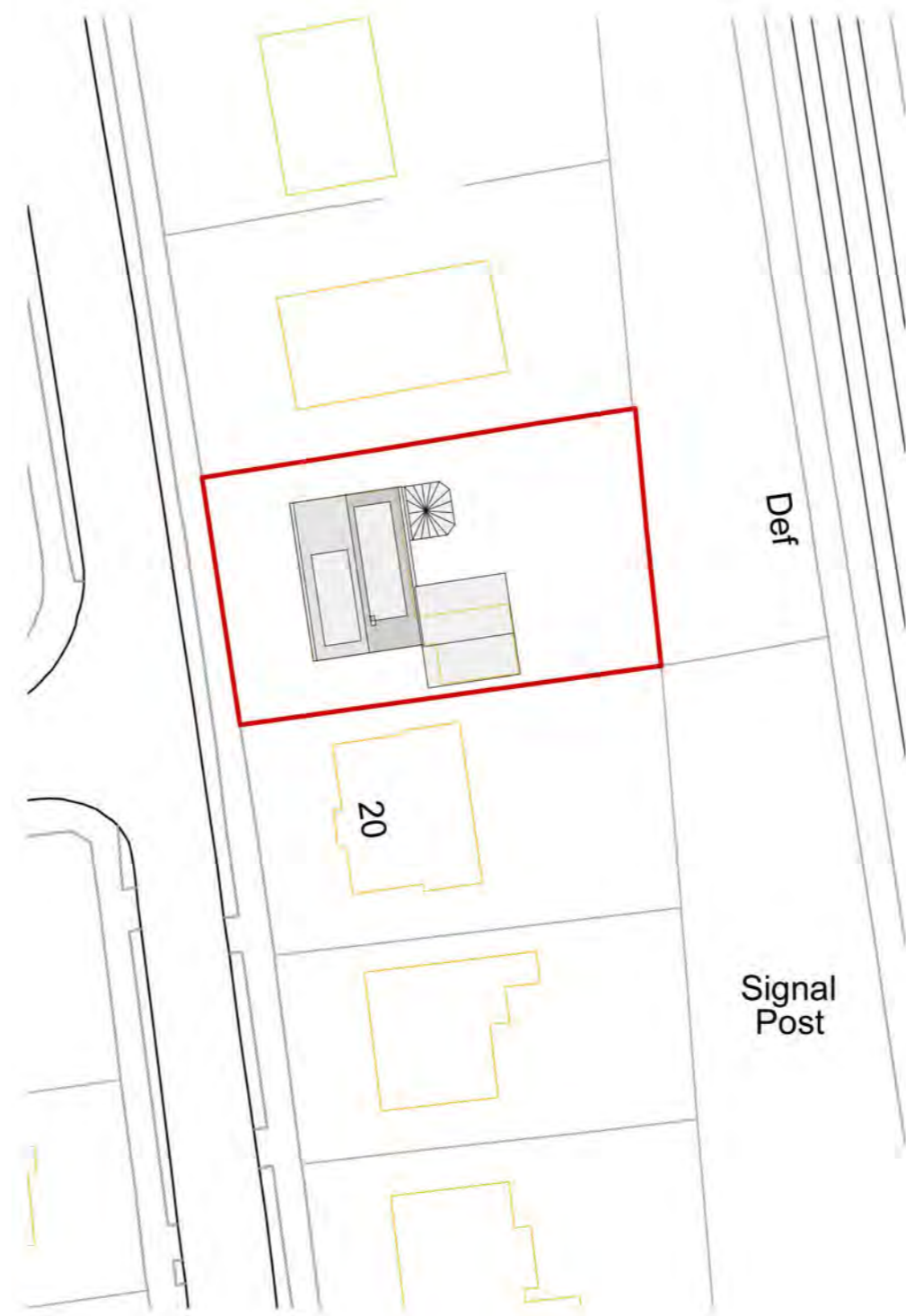
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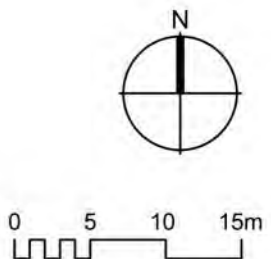
01 Block Plan - As existing
1:500
(--01)



02 Block Plan - As proposed
1:500
(--01)

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rev.	date	details	drawn	checked
issued for:				

CONSENTS

project no.	drawing no.	revision
23.25	L(--01)	-

project / client:
Susan Hughes
22 Gailes Road
Troon, KA10 6TA

drawing:	scale:
Block Plan As existing & As proposed	1:500@A3
drawn by:	date:
PE	29.09.23
checked by:	date:
-	-

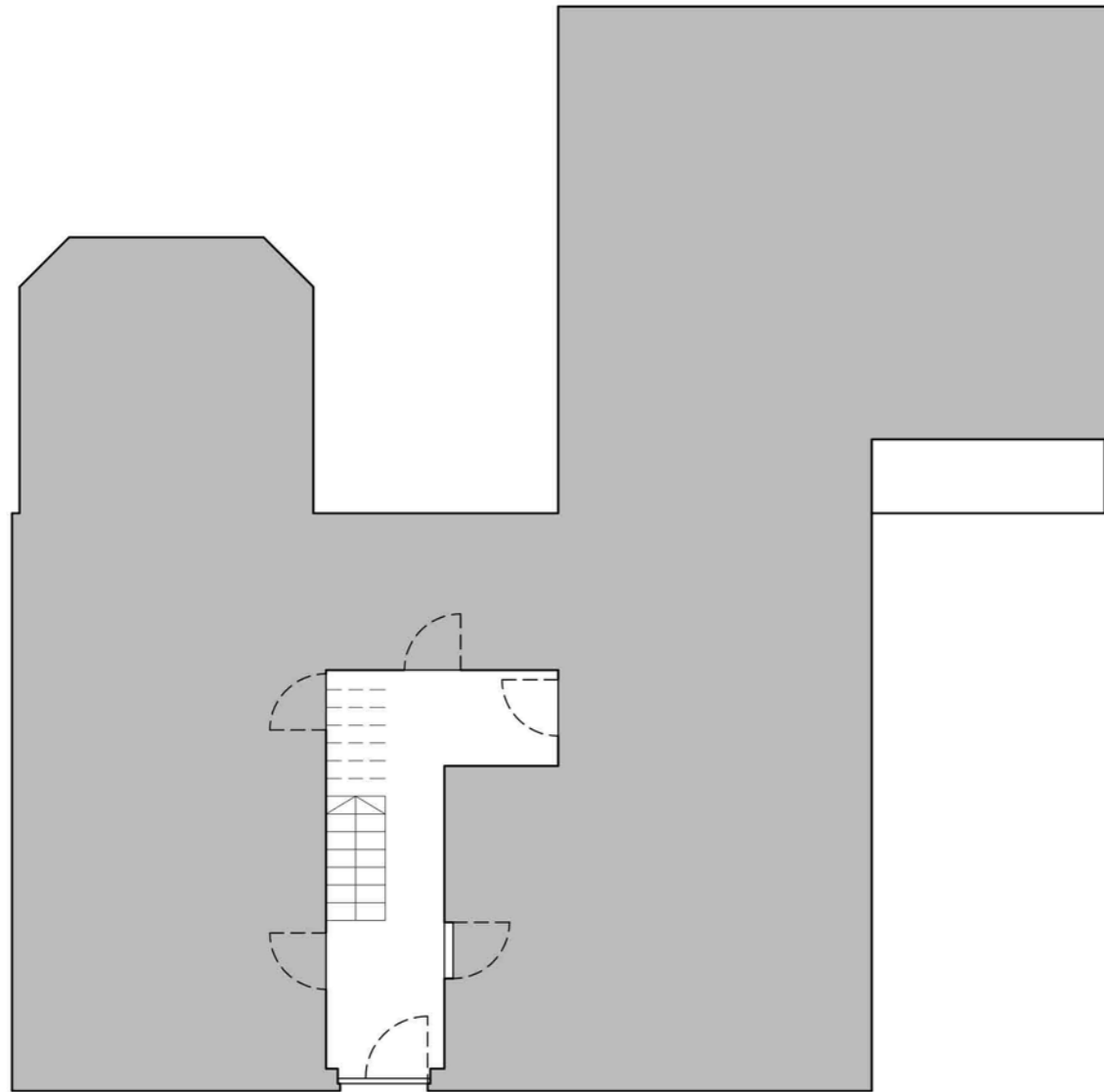
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23 Portland Road
Kilmarnock
KA1 2BT

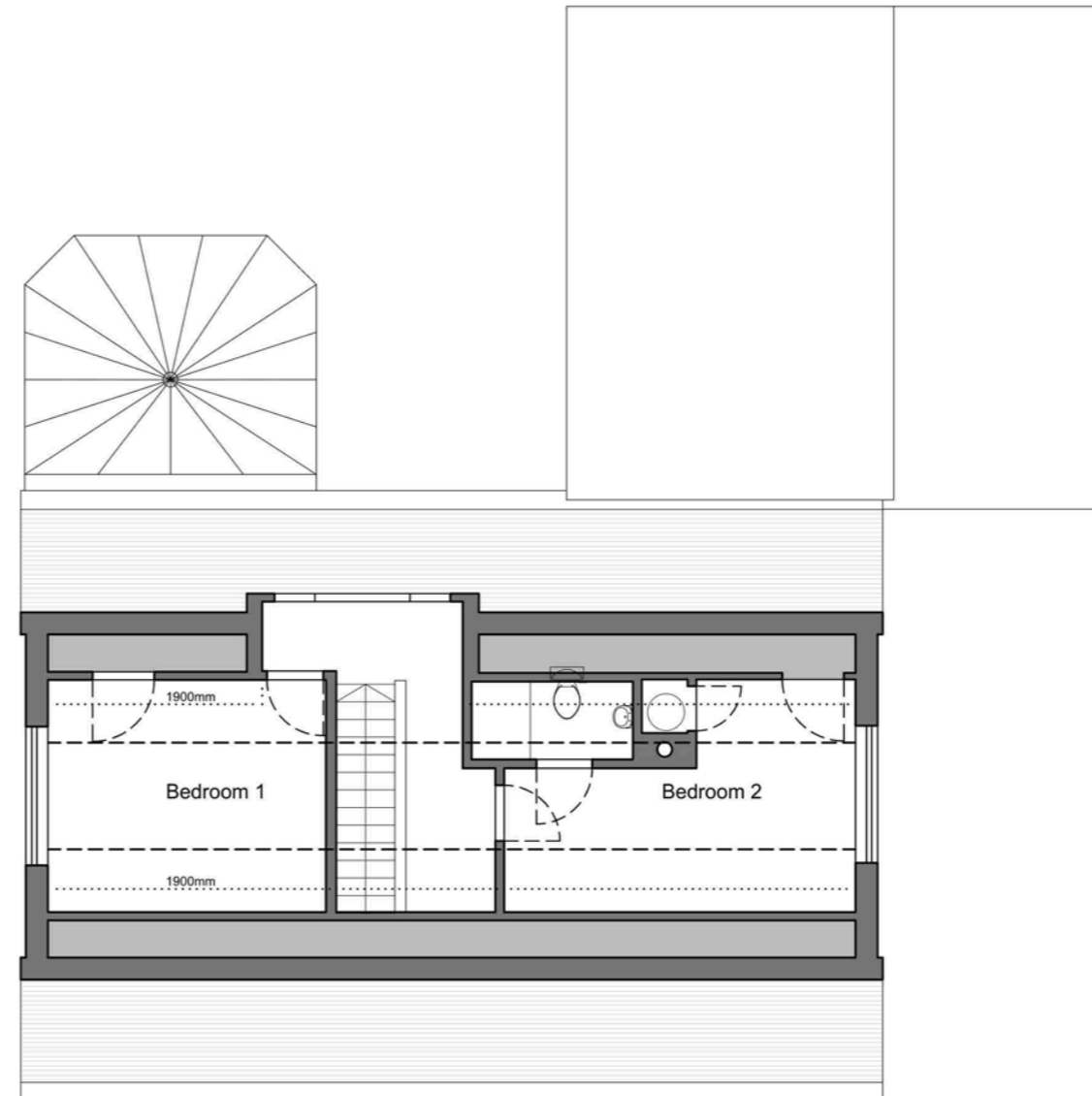
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01 Ground Floor Plan - As existing
1:100



02 First Floor Plan - As existing
1:100

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rev.	date	details	drawn	checked

issued for: **CONSENTS**

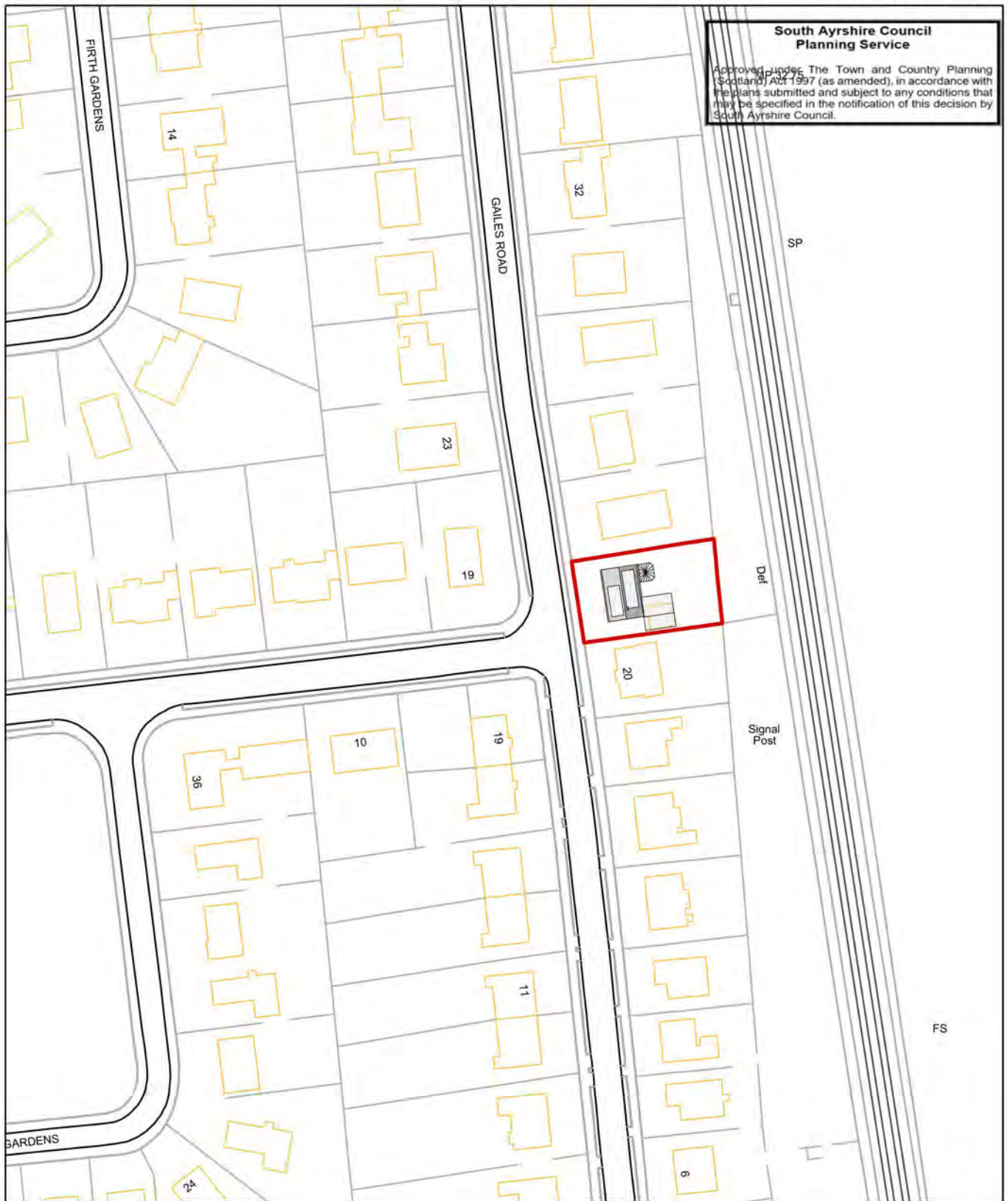
project no.	drawing no.	revision
23.25	L(01)01	-

project / client:
Susan Hughes
22 Gailes Road
Troon, KA10 6TA

drawing:	scale:
Floor plans	1:100@A3
As existing	
drawn by:	date:
PE	29.09.23
checked by:	date:
-	-

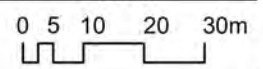
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23 Portland Road
Kilmarnock
KA1 2BT



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Dwg. : Location Plan	
Project : Susan Hughes	
Location : 22 Gailes Road, Troon KA10 6TA	
Job No. : 23.25	Scale : 1:1250

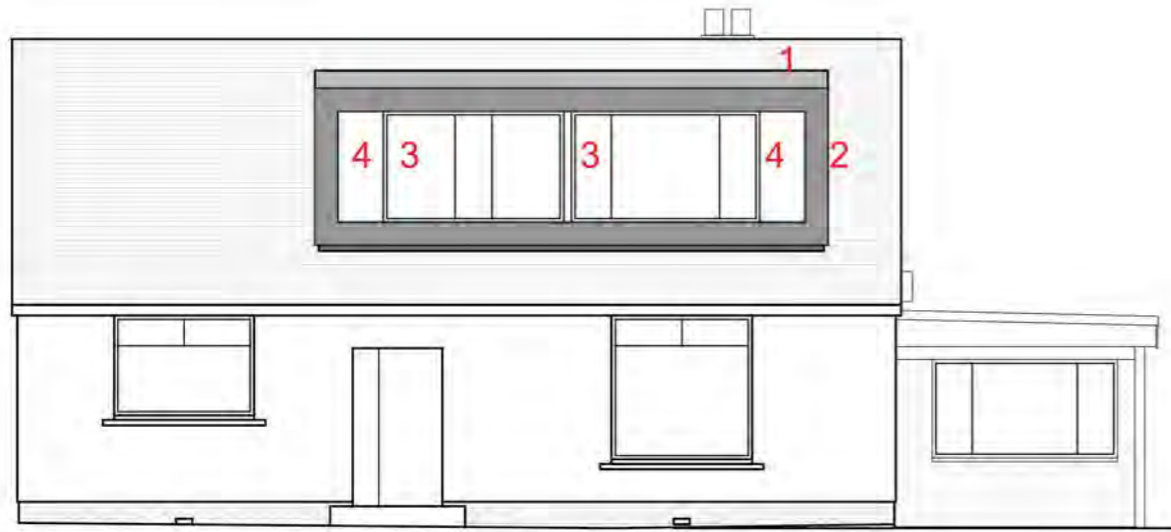
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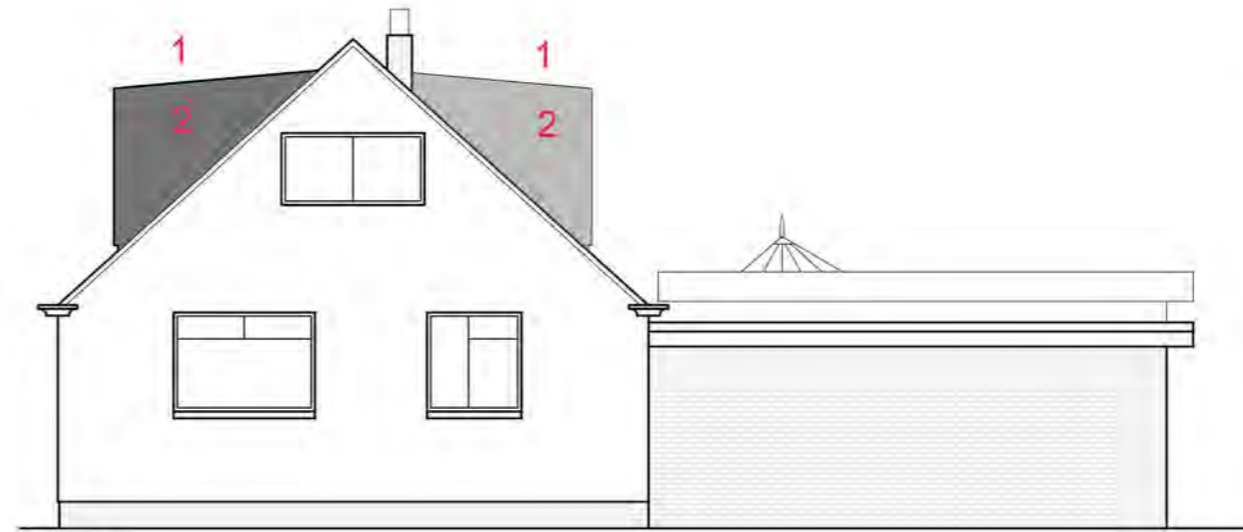
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MATERIALS LEGEND:

1. Single ply flat roof, dark grey finish. Flashing same colour.
2. Dark grey metal cladding
3. Aluminium or uPVC dark grey/black windows.
4. Dark grey metal recessed cladding



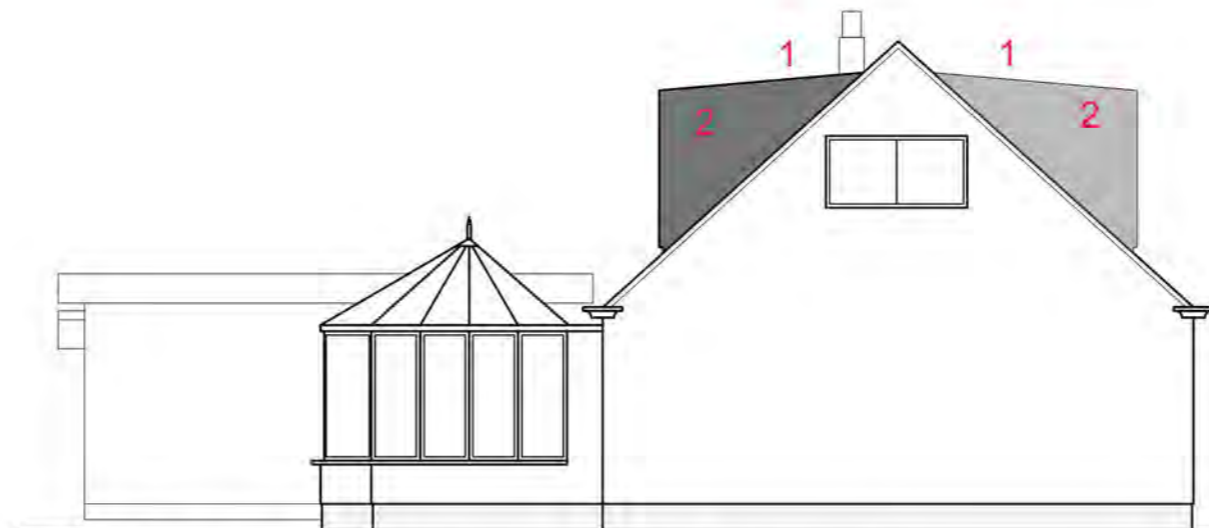
01 Front elevation - As proposed
(2-)02 1:100



02 Side (South) elevation - As proposed
(2-)02 1:100



03 Rear elevation - As proposed
(2-)02 1:100



04 Side (North) elevation - As proposed
(2-)02 1:100

**South Ayrshire Council
Planning Service**

Approved under The Town and Country Planning (Scotland) Act 1997 (as amended), in accordance with the plans submitted and subject to any conditions that may be specified in the notification of this decision by South Ayrshire Council.

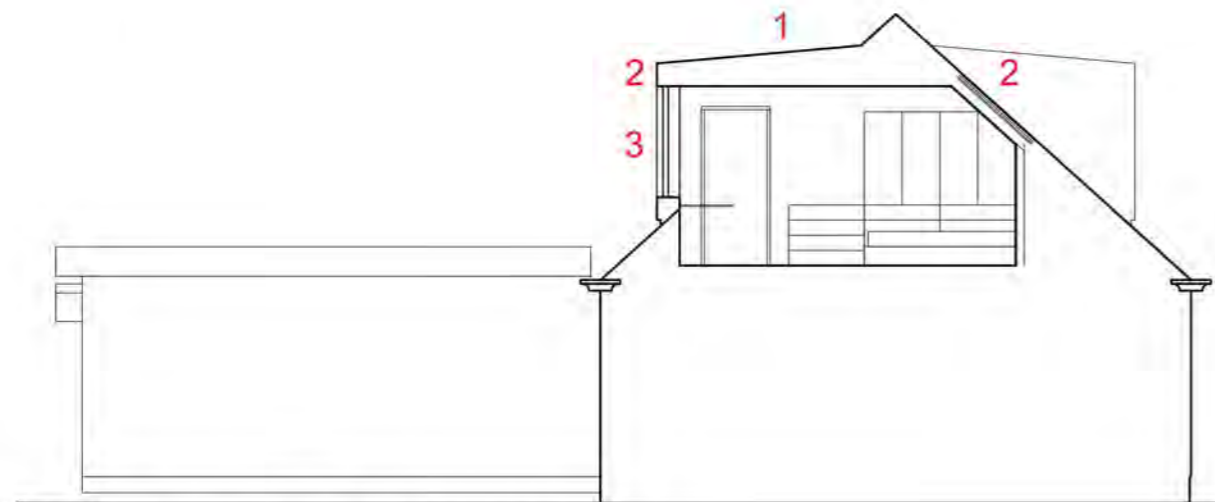
rev.	date	details	drawn	checked
issued for:				

CONSENTS

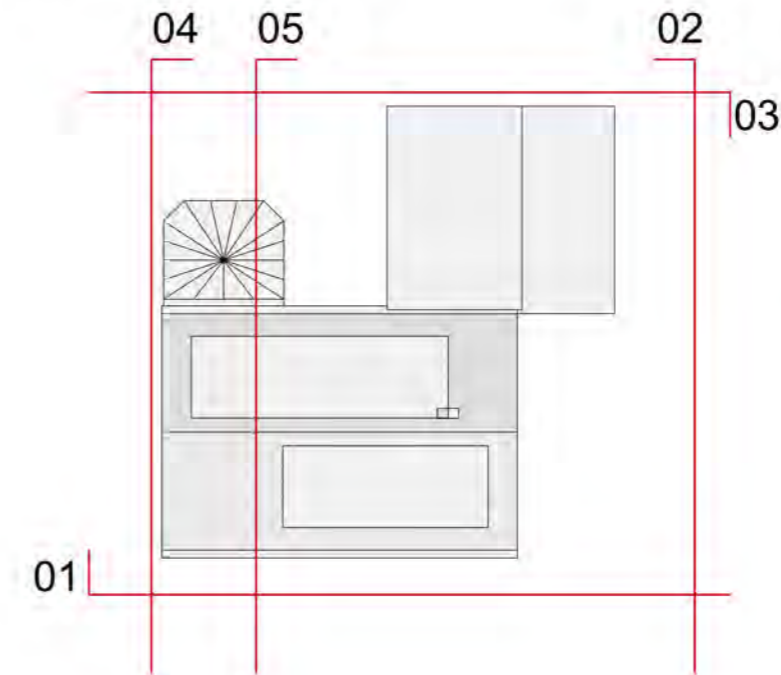
project no.	drawing no.	revision
23.25	L(2-)02	-

project / client:
Susan Hughes 22 Gailes Road Troon, KA10 6TA

drawing:	scale:
Elevations and section As proposed	1:100@A3
drawn by:	date:
PE	05.10.23
checked by:	date:
-	-



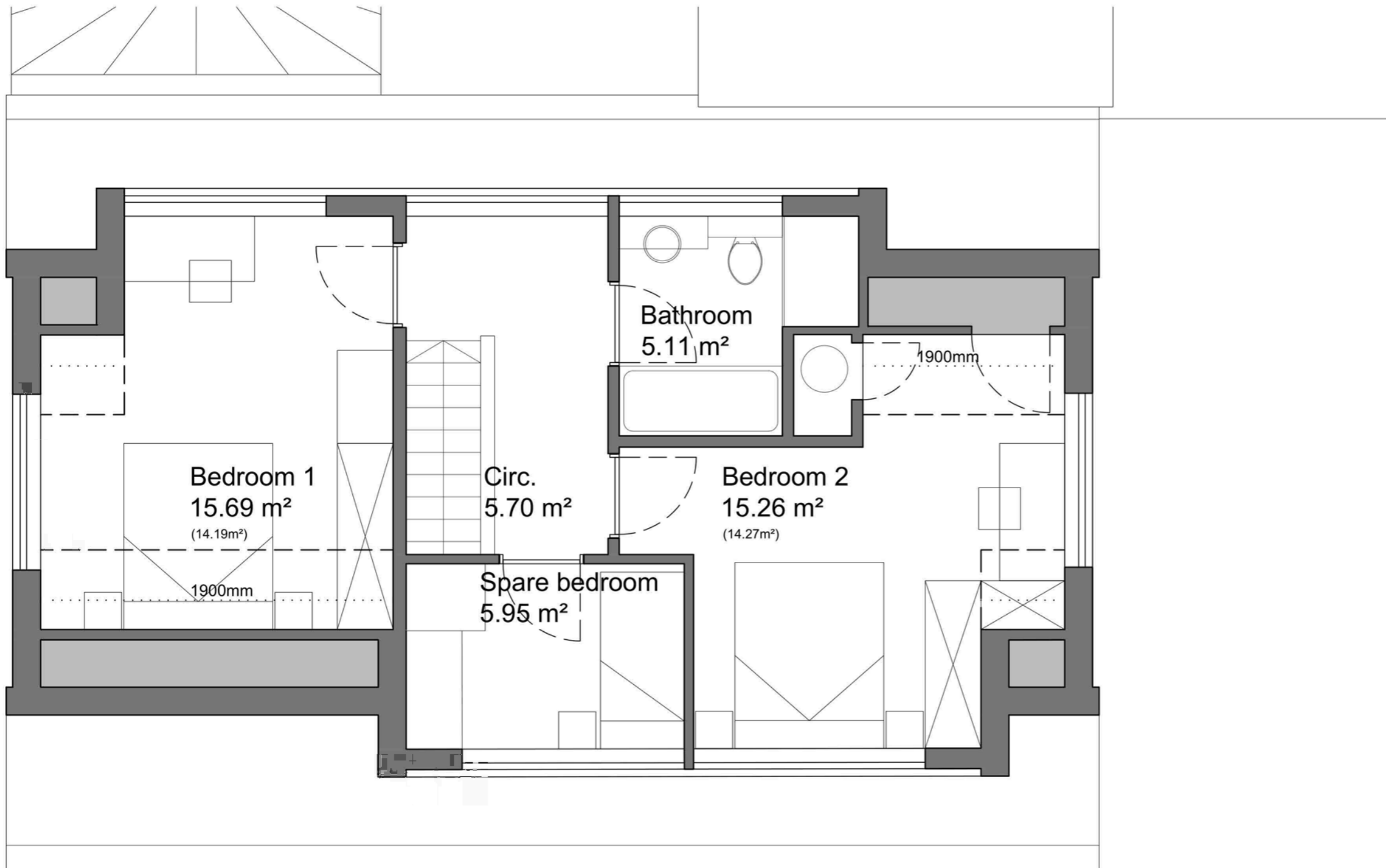
05 Section - As proposed
(2-)02 1:100



Notated dimensions and/or levels to be used only. All dimensions and/or levels must be site checked by the contractor prior to commencing construction work. Any discrepancies must be reported to the Architect. No assumptions to be made regarding this drawing.

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01 First Floor Plan - As proposed
 (2-01) 1:50

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rev.	date	details	drawn	checked

issued for: **CONSENTS**

project no.	drawing no.	revision
23.25	L(2-01)	-

project / client:
 Susan Hughes
 22 Gales Road
 Troon, KA10 6TA

drawing:	scale:
First Floor plan	1:50@A3
As proposed	drawn by: date:
	PE 05.10.23
checked by: date:	- -

munro
 ARCHITECTS

Munro Architects Ltd
 23 Portland Road
 Kilmarnock
 KA1 2BT

SOUTH AYRSHIRE COUNCIL

THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED)
THE TOWN AND COUNTRY PLANNING (GENERAL DEVELOPMENT) (SCOTLAND) ORDERS

To: **Mr & Mrs Hughes**
per Munro Architects Ltd.
23 Portland Road
Kilmarnock
KA1 2BT

With reference to your **Application for Planning Permission** dated **1st February 2024**, under the aforementioned Regulations, for the following development, viz:-

Alterations and extension to dwellinghouse

at: **22 Gales Road Troon South Ayrshire KA10 6TA**

South Ayrshire Council in exercise of their powers under the aforementioned Regulations hereby **approve** the Application for Planning Permission for the said development in accordance with the following conditions as relative hereto and the particulars given in the application. The approved drawings and other documents, where relevant, can be accessed from the [Council's website](#) by using the application reference number noted above and these represent the approved scheme.

The following condition(s) which relates to this permission are:

- (1C) That the development hereby granted shall be implemented in accordance with the approved plan(s) as listed below and as forming part of this permission unless a variation required by a condition of the permission or a non-material variation has been agreed in writing by the Planning Authority.
- (1R) **Reason:** *To ensure that the development is carried out in accordance with the approved plans unless otherwise agreed.*
- (2C) That the development hereby permitted must be begun within **three years** of the date of this permission.
- (2R) **Reason:** *To be in compliance with Section 58 of The Town and Country Planning (Scotland) Act 1997 as amended by Section 32 of The Planning (Scotland) Act 2019.*
- (3C) That notwithstanding the terms of condition 1 above, no permission is hereby approved for the formation of the dormer window proposed on the dwellinghouse's front elevation.
- (3R) To define the terms of the permission.

List of Approved Plans:

Drawing - Reference No (or Description): Location Plan

Drawing - Reference No (or Description): L(01)01 - Elevations and section As existing

Drawing - Reference No (or Description): L(01)01 - Floor plans As existing

Drawing - Reference No (or Description): L(--)01

Drawing - Reference No (or Description): L(2-)01

Drawing - Reference No (or Description): L(2-)02

Advisory Notes:

- (1) A [site notice](#) to be displayed in accordance with Section 27C (1) of The Town and Country Planning (Scotland) Act 1997 and Regulation 38 and Schedule 7 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013 shall be completed, printed on durable material, and be displayed in a prominent place (readily visible to members of the public) at or in the vicinity of the site while the development hereby approved is in progress. This requirement is in order to ensure that members of the public are made aware of the background to the development in progress and have access to the necessary contact details.
- (2) The person who intends to carry out the development hereby approved shall, as soon as practicable after deciding on a date on which to initiate the development, complete the form entitled '[Notification of Initiation of Development](#)' and submit it to the Planning Authority before commencement of the development. For the avoidance of doubt, failure to submit the required notice would constitute a breach of Planning control under Section 123 (1) of The Town and Country Planning (Scotland) Act 1997 (as amended). This notification is required to ensure compliance with the requirements of Planning Legislation as contained in Section 27A of The Town and Country Planning (Scotland) Act 1997 (as amended).
- (3) The developer is required in carrying out the development hereby approved to submit to the Planning Authority a formal written '[Notification of Completion of Development](#)' as soon as practicable after the development has been completed. This notification shall include the reference number of the Planning permission, the site address and the date of completion. This requirement is to ensure compliance with the requirements of Planning Legislation as contained in Section 27B (1) of The Town and Country Planning (Scotland) Act 1997 (as amended).
- (4) The developer is required in carrying out the development hereby approved to submit to the Planning Authority a formal written Notification of Completion of Phases of Development as soon as practicable after completion of each phase of the development and subsequently a 'Notification of Completion of Development' as soon as practicable after the whole development has been completed. These notifications shall include the reference number of the Planning permission, the site address and the date of completion of the relevant phase. This requirement is to ensure compliance with the requirements of Planning Legislation as contained in Section 27B (1) and Section 27B (2) of The Town and Country Planning (Scotland) Act 1997 (as amended).
- (5) The development could be in an area where there are gas mains and services. Please see the link below for further information and actions required of you:

Planning decisions - South Ayrshire Council (<https://www.south-ayrshire.gov.uk/planning-decisions>)

Reason for Decision:

The siting and design of the development hereby approved is considered to accord with the provisions of the development plan and there is no significant adverse impact on the amenity of neighbouring land and buildings.

The explanation for reaching this view is set out in the Report of Handling and which forms a part of the Planning Register.

It should be understood that this permission does not carry with it any necessary consent or approval to the proposed development under other statutory enactments.

Dated: 10th May 2024

.....
Craig Iles
Service Lead – Planning and Building Standards

COUNTY BUILDINGS, WELLINGTON SQUARE, AYR, KA7 1DR

Note:
In addition to this approval and before proceeding with the development the applicant may require a Building Warrant under the Building (Scotland) Act 2003 as amended or a Road Opening Permit or Construction Consent under the Roads (Scotland) Act 1984 Legislation.

From: Delury, Del [REDACTED]
Sent: 29 May 2024 09:30
To: Local Review Body [REDACTED]
Subject: RE: 24/00070/APP - 22 Gales Road, Troon, KA10 6TA

Madainn mhath,

Please see the attached documents as listed:

1. Report of Handling
2. Site visit photograph
3. Site visit photograph
4. Site visit photograph

If you require anything further please contact me.

Kind regards,
Del Delury

From: Local Review Body [REDACTED]
Sent: Friday, May 24, 2024 11:57 AM
To: Delury, Del [REDACTED]; Local Review Body [REDACTED]
Subject: 24/00070/APP - 22 Gales Road, Troon, KA10 6TA

Good morning,

Please see attached letter for your attention.

Kind regards,

Rebecca
South Ayrshire Council Local Review Body

County Buildings, Wellington Square, Ayr, KA7 1DR

E: [REDACTED]

W: www.south-ayrshire.gov.uk





