

SOUTH AYRSHIRE COUNCIL

LOCAL REVIEW BODY

NOTE of CURRENT POSITION

Site Address:	1 STAIRGILLAN HOUSE B730 FROM COUNCIL BOUNDARY AT STAIR BRIDGE TO B743 AT CARNGILLAN COTTAGES TARBOLTON MAUCHLINE SOUTH AYRSHIRE KA5 5NN
Application:	21/00682/APP ERECTION OF STORAGE SHED

Appointed Officer's Decision:	Refusal
Date Notice of Review Received:	29 th November 2021

Current Position:	New Case for Review
Documentation:	The following documents in relation to the review are attached: Pages 1 to 4 – Report of Handling Pages 5 to 9 – Notice of Review and Supporting Information Pages 10 to 37 – Planning Application and Supporting Information Pages 38 to 39– Decision Notice
New Material:	No
Additional Material Any other Comments:	N/A
Dated:	8th March 2022

South Ayrshire Council

Place Directorate

Report of Handling of Planning Application

Application Determined under Delegated Powers where less than five objections have been received.
The Council's Scheme of Delegation can be viewed at <http://www.south-ayrshire.gov.uk/committees/>

Reference No:	21/00682/APP
Site Address:	1 Stairgillan House B730 From Council Boundary At Stair Bridge To B743 At Carngillan Cottages Tarbolton Mauchline South Ayrshire KA5 5NN
Proposal:	Erection of storage shed
Recommendation:	Refusal

REASON FOR REPORT

This report fulfils the requirements of Regulation 16, Schedule 2, paragraphs 3 (c) and 4 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013. The application has been determined in accordance with the Council's Scheme of Delegation as well as the Procedures for the Handling of Planning Applications.

1. **Site Description:**

The application site is the rear curtilage of 1 Stairgillan House, B730, south of Tarbolton.

2. **Planning History:**

There is no relevant planning history in the assessment of the application.

3. **Description of Proposal:**

Planning permission is sought to erect a storage shed within the curtilage of the dwellinghouse. Details are contained within the submitted plans. A supporting statement accompanies the application submission and provides a rationale for the siting, scale and design of the proposed shed.

4. **Consultations:**

Ayrshire Roads Alliance offers no response.

5. **Submitted Assessments/Reports:**

In assessing and reporting on a planning application the Council is required to provide details of any report or assessment submitted as set out in Regulation 16, Schedule 2, para 4(c) (i) to (iv) of the Development Management Regulations. None.

6. **S75 Obligations:**

In assessing and reporting on a planning application the Council is required to provide a summary of the terms of any planning obligation entered into under Section 75 of the Town and Country Planning (Scotland) Act in relation to the grant of planning permission for the proposed development. None.

7. **Scottish Ministers Directions:**

In determining a planning application, the Council is required to provide details of any Direction made by Scottish Ministers under Regulation 30 (Directions requiring consultation), Regulation 31 (Directions

requiring information), Regulation 32 (Directions restricting the grant of planning permission) and Regulation 33 (Directions requiring consideration of condition) of The Town and Country Planning (Development Management Procedure)(Scotland) Regulations 2013, or under Regulation 50 (that development is EIA development) of the Town and Country Planning (Environmental Impact Assessment) (Scotland) Regulations 2017. None.

8. Representations:

No representations were received.

9. Development Plan:

Section 25 of the Town and Country Planning (Scotland) Act 1997 (as amended) indicates that in making any determination under the Planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

The proposal has been considered against the Local Development Plan's Spatial Strategy and is in accordance with the strategy.

The following policies are relevant in the assessment of the application and can be viewed in full online at <http://www.south-ayrshire.gov.uk/planning/local-development-plans/local-development-plan.aspx>

LDP Policy: Sustainable Development; and
LDP Policy: Rural Housing.

The provisions of the Adopted South Ayrshire Local Plan must be read and applied as a whole, and as such, no single policy should be read in isolation. The application has been considered in this context.

The development proposal has been assessed against the above policies and is considered to contrary to the development plan, as outlined further, below.

The statutory Local Development Plan (LDP) for the area currently comprises the South Ayrshire Local Development Plan (adopted in September 2014) and its associated Supplementary Guidance, as well as the Town Centre and Retail Local Development Plan, adopted in 2017.

At a special meeting on 1 September, the Council considered representations on the Modified Proposed Replacement South Ayrshire Local Development Plan (MPLDP2), submitted in response to public consultation, and agreed (1) to submit the Plan, without further modification, to the Scottish Ministers for Examination; and (2) the Plan would be a material consideration in determining planning applications, with the weight accorded to it increasing as it progresses through the statutory process.

As MPLDP2 now represents the Council's settled position on the Development Plan it wishes to progress to adoption, it is a material consideration in the assessment of planning applications. However, it remains the subject of unresolved representations, which will be considered by the Scottish Government's Directorate of Planning and Environmental Appeals (DPEA), as part of the Examination process.

In considering development proposals, the Council may now apportion significant weight to those principles or policies of MPLDP2 which are not the subject of unresolved representations, but MPLDP2 is otherwise unlikely to be the determining factor in the determination of Planning Applications, remaining subordinate in status to the adopted LDP.

10. Other Relevant Policy Considerations (including Government Guidance):

Scottish Planning Policy (SPP) is a statement of Scottish Government policy on how nationally important land use matters should be addressed across the country and reflects Scottish Ministers' priorities for the operation of the planning system in Scotland. SPP contains Principal Policy on Sustainability which introduces a presumption in favour of development that contributes to sustainable development, but reinforces the statutory status of the development plan as the starting point for decision-making. Accordingly, SPP advocates the need for planning to direct the "right development to the right place". This approach is to be implemented by the spatial strategies within development plans and subsequent development management decisions.

Additionally, SPP has subject policies of relevance to the proposal including Promoting Rural Development which expects rural development to promote a pattern of development that is appropriate to the character of the particular area whilst protecting and enhancing environmental quality.

Given the above, it is considered that the proposed shed does not accord with the provisions of SPP on the basis that the proposal does not result in a pattern of development that is appropriate to the character of the particular rural area. This aspect is considered in further detail below.

South Ayrshire Council's Supplementary Guidance (SG) on Rural Housing indicates that detached garages should reflect the design and character of the dwellinghouse. The SG also indicates that ancillary buildings should be used to create a sense of enclosure, define space and built in a style with materials similar to the house. The proposed shed is located within the curtilage of the existing dwellinghouse and, by virtue of its scale, size and design is not considered to reflect the character of Stairgillan House.

11. Assessment (including other material considerations):

Due to current Government Guidance involving Covid-19 Pandemic and current working practices, a site visit was not carried out to the application site. However, the site has been assessed in terms of Google Maps, the applicant's site photographs and local knowledge of the case officer.

Planning permission is sought to erect a storage shed within the rear curtilage of 1 Stairgillan House, Tarbolton. Stairgillan House sits in a prominent locale immediately adjacent to B730 and B743, and is a converted waterhouse which comprises two semi-detached dwellinghouses. It is recognised that the locale comprises a small cluster of residential dwellinghouses within a rural setting.

The proposed storage shed, which is to be sited behind an existing garage, has a footprint of approximately 159m² (10.6 metres in width and 15 metres in length) and reaches a height of approximately 5.7m. The finishing materials comprise polyester coated profiled steel cladding, precast wall panels and a roller garage door. The submitted supporting statement sets out the rationale for the siting of the proposed shed which is to house a large goods vehicle currently owned by the occupier of the property at 1 Stairgillan House.

While there are no objections to the principle of erecting an outbuilding within the curtilage of the application site, there are concerns that the proposed storage shed is not ancillary to the main dwelling which it serves, and is excessive for a domestic property within a rural setting. The footprint of the dwellinghouse is approximately 112m², whereas the proposed storage shed equates to 159m², which is greater than that of the dwellinghouse, and over 3 times the footprint of the existing garage sited within the rear curtilage. The shed's dimensions are more reflective of a commercial building and do not reflect the domestic outbuildings found within the locale. Due to the excessive scale of the proposed shed it is also considered to be unduly visually prominent, particularly when viewed from the B730 from Tarbolton.

Therefore, it is considered that the proposed storage shed is contrary to the provisions of the LDP Policies Sustainable Development, and Rural Housing, SPP and also the Council's 'Rural Housing' guidance, as the proposed shed considered excessive for a domestic ancillary outbuilding within the curtilage of a dwellinghouse within a rural setting.

On this basis, it is considered that the application is refused, as set out, below.

12. Recommendation:

It is recommended that the application is refused.

Reasons:

- (1) That the proposed storage shed is contrary to LDP policies: Sustainable Development, Rural Housing, SPP and the Council's Planning Guidance on Rural Housing, as the development is considered to be excessive in its scale, design and massing in relation to its rural domestic setting and shall be visually prominent within the rural landscape.

Advisory Notes:

List of Plans Determined:

Drawing - Reference No (or Description): **Refused E(--)**01

Drawing - Reference No (or Description): **Refused L(-)**01

Drawing - Reference No (or Description): **Refused L(--)**02

Drawing - Reference No (or Description): **Refused** L(--)03

Drawing - Reference No (or Description): **Refused** L(--)04

Other - Reference No (or Description): **Refused** PLANNING STATEMENT

Reason for Decision (where approved):

Equalities Impact Assessment

An Equalities Impact Assessment is not required because the proposed development is not considered to give rise to any differential impacts on those with protected characteristics

<i>Decision Agreed By:</i>	<i>Appointed Officer</i>
<i>Date:</i>	<i>19 August 2021</i>



County Buildings Wellington Square Ayr KA7 1DR Tel: 01292 616 107 Email: planning.development@south-ayrshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100432411-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation: VE-TECH CONCRETE LTD

Ref. Number:

You must enter a Building Name or Number, or both: *

First Name: *

Building Name:

Last Name: *

Building Number:

Telephone Number: *

Address 1 (Street): *

Extension Number:

Address 2:

Mobile Number:

Town/City: *

Fax Number:

Country: *

Postcode: *

Email Address: *

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text" value="1 STAIRGILLAN HOUSE"/>
First Name: *	<input type="text" value="JOHN"/>	Building Number:	<input type="text"/>
Last Name: *	<input type="text" value="TEMPLETON"/>	Address 1 (Street): *	<input type="text" value="B730"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text" value="07590046763"/>	Town/City: *	<input type="text" value="TARBOLTON"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="SCOTLAND"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="KA5 5NN"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="templeton3@btinternet.com"/>		

Site Address Details

Planning Authority:	<input type="text" value="South Ayrshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="1 STAIRGILLAN HOUSE"/>
Address 2:	<input type="text" value="TARBOLTON"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="MAUCLINE"/>
Post Code:	<input type="text" value="KA5 5NN"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="625711"/>	Easting	<input type="text" value="243202"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

PROPOSED SHED TO HOUSE LORRY

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

We are of the understanding that the proposed building meets the criteria set in the The Council's Supplementary Planning Guidance 'House Alterations and Extensions' as demonstrated on our e-mail to Planning dept. dated 16th August 2021 (submitted prior to decision being made). 3d sketch of site showing proposed building in relation to its surroundings was submitted along with email, to demonstrate that the scale, design and massing of the development is in keeping with its surroundings.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Planning justification statement

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

21/00682/APP

What date was the application submitted to the planning authority? *

22/06/2021

What date was the decision issued by the planning authority? *

24/08/2021

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mrs JANEY BAIRD

Declaration Date: 05/11/2021



County Buildings Wellington Square Ayr KA7 1DR Tel: 01292 616 107 Email: planning.development@south-ayrshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100432411-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

PROPOSED SHED TO HOUSE LORRY

Is this a temporary permission? *

Yes No

If a change of use is to be included in the proposal has it already taken place?

Yes No

(Answer 'No' if there is no change of use.) *

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	VE-TECH CONCRETE LTD		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	JANEY	Building Name:	STRANDHEAD FARM
Last Name: *	BAIRD	Building Number:	
Telephone Number: *	01292540525	Address 1 (Street): *	B730
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	TARBOLTON
Fax Number:		Country: *	SCOTLAND
		Postcode: *	KA5 5NP
Email Address: *	jbaird@ve-tech.com		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	1 STAIRGILLAN HOUSE
First Name: *	JOHN	Building Number:	
Last Name: *	TEMPLETON	Address 1 (Street): *	B730
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	TARBOLTON
Extension Number:		Country: *	SCOTLAND
Mobile Number:		Postcode: *	KA5 5NN
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

South Ayrshire Council

Full postal address of the site (including postcode where available):

Address 1:

1 STAIRGILLAN HOUSE

Address 2:

TARBOLTON

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

MAUCLINE

Post Code:

KA5 5NN

Please identify/describe the location of the site or sites

Northing

625711

Easting

243202

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Site Area

Please state the site area:

2048.00

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Yard / garden area

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? * Yes No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? * Yes No

Do your proposals make provision for sustainable drainage of surface water?? * Yes No
(e.g. SUDS arrangements) *

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

Yes

No, using a private water supply

No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? * Yes No Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? * Yes No Don't Know

Trees

Are there any trees on or adjacent to the application site? * Yes No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? * Yes No

If Yes or No, please provide further details: * (Max 500 characters)

PROPOSAL TO HOUSE LORRY - NO REFUSE / RECYCLING STORAGE FACILITIES REQUIRED

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace Details

For planning permission in principle applications, if you are unaware of the exact proposed floorspace dimensions please provide an estimate where necessary and provide a fuller explanation in the 'Don't Know' text box below.

Please state the use type and proposed floorspace (or number of rooms if you are proposing a hotel or residential institution): *

Not in a Use Class

Gross (proposed) floorspace (In square meters, sq.m) or number of new (additional) Rooms (If class 7, 8 or 8a): *

159

If Class 1, please give details of internal floorspace:

Net trading spaces:

Non-trading space:

Total:

If Class 'Not in a use class' or 'Don't know' is selected, please give more details: (Max 500 characters)

PROPOSED SHED TO HOUSE LORRY

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: JANEY BAIRD

On behalf of: Mr JOHN TEMPLETON

Date: 22/06/2021

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principal where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | |
|--|--|
| A copy of an Environmental Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mrs JANEY BAIRD

Declaration Date: 22/06/2021

Payment Details



Created: 22/06/2021 15:08

SOUTH AYRSHIRE COUNCIL

Refused under the Town and Country Planning (Scotland) Act, 1997 (As Amended), subject to reasons specified in the notification of this decision by South Ayrshire.

Planning Statement

Proposal :

Erection of New Shed to House Lorry

Site address :

1 Stairgillan House, Tarbolton,
KA5 5NN

Applicant :

John Templeton
1 Stairgillan House, Tarbolton,
KA5 5NN

Date :

22.06.21

Introduction

This Statement has been prepared for John Templeton, of 1 Stairgillan House, Tarbolton, KA5 5NN to illustrate the process that has led to the development proposal, justification for the proposal, and its planned method of operation.

Background Information

1 Stairgillan consists of dwelling house for Linda and John Templeton and operating centre for their haulage company.

Operator Licence Nr. OM0030850.

- Refer to Appendix A for Vehicle Operator License.
- Refer to Appendix B for photographs of existing site.

Applicant currently owns :

- 2 nr LGV's (Large goods vehicles)
- 1 nr trailer
- 1 nr cement tanker

1 nr LGV is parked outside 1 Stairgillan House. The remaining vehicles are based at Strandhead Farm, Tarbolton.

Proposal

The proposal is for a new shed to securely house 1 nr LGV which is currently parked outside within curtilage of site.

Proposed siting

The proposed building has been positioned at rear of curtilage behind existing garage and dwelling house to reduce impact of building from main road.

Appendix A

Vehicle Operators License

JOHN TEMPLETON & LINDA JANET TEMPLETON

Licence details (OM0030850)

Business type	Partnership
Trading names	LA TRANSPORT (AYRSHIRE)
Partners	LINDA JANET TEMPLETON JOHN TEMPLETON
Licence type	Standard National
Licence status	Valid
Continuation date	31 May 2022
Traffic area	Scotland

Contact details

Address	1 STAIRGILLAN HOUSE, TARBOLTON, MAUCHLINE, KA5 5NN, GB
---------	--

Operating centres

Operating centre	Vehicles	Trailers
STRANDHEAD FARM, TARBOLTON, MAUCHLINE, KA5 5NP, GB	3	3
1 STAIRGILLAN HOUSE, TARBOLTON, MAUCHLINE, KA5 5NN, GB	1	0

Transport Managers

Name
LINDA JANET TEMPLETON

Related operator licences

There are no related licences

Appendix B

Photographs of Existing Site



Planning Statement

Proposal :

Erection of New Shed to
House Lorry

Site address :

1 Stairgillan House, Tarbolton,
KA5 5NN

Applicant :

John Templeton
1 Stairgillan House, Tarbolton,
KA5 5NN

Date :

22.06.21

Revised 29.10.21

Introduction

This Statement has been prepared for John Templeton, of 1 Stairgillan House, Tarbolton, KA5 5NN to illustrate the process that has led to the development proposal, justification for the proposal, and its planned method of operation.

Background Information

1 Stairgillan consists of dwelling house for Linda and John Templeton and operating centre for their haulage company.

Operator Licence Nr. OM0030850.

- Refer to Appendix A for Vehicle Operator License.
- Refer to Appendix B for photographs of existing site.

Applicant currently owns :

- 2 nr LGV's (Large goods vehicles)
- 1 nr trailer
- 1 nr cement tanker

1 nr LGV is parked outside 1 Stairgillan House. The remaining vehicles are based at Strandhead Farm, Tarbolton.

Existing Building / Dwelling Houses adjacent

The existing building was formerly Tarbolton Water House and converted into 2 nr dwellings in 2006. Due to its former use and height, the dwellings are formed over 3 floors with a height of 8.5m from ground to ridge.

Proposal

The proposal is for a new shed to securely house 1 nr LGV which is currently parked outside within curtilage of site.

Proposed siting / scale / design

3d sketch of site showing proposed building in relation to its surroundings shown on Appendix 1 along photographs from adjacent roads shown on Appendix 2 to demonstrate the following:

- The proposed building has been positioned at rear of curtilage behind existing garage and dwelling house to reduce impact of building from main road.
- Scale of proposed building is considerably smaller than adjacent dwellings (2.74m lower) and respects its neighbouring buildings.
- Careful consideration has been given to the siting of the proposed building in relation to existing dwelling house and garage. By positioning the new building to the rear of the site and behind the existing garage it significantly reduces the overall visual impact of the building.
- The existing mature trees behind the site ensures the proposed building is 'grounded' into its surroundings from all adjacent roads (B730 and B744).
- When approaching site, proposed building is primarily concealed by the existing dwellings and mature trees adjacent.

Although majority of proposed front elevation is obstructed by existing garage, this elevation could be rendered in keeping with existing buildings adjacent.

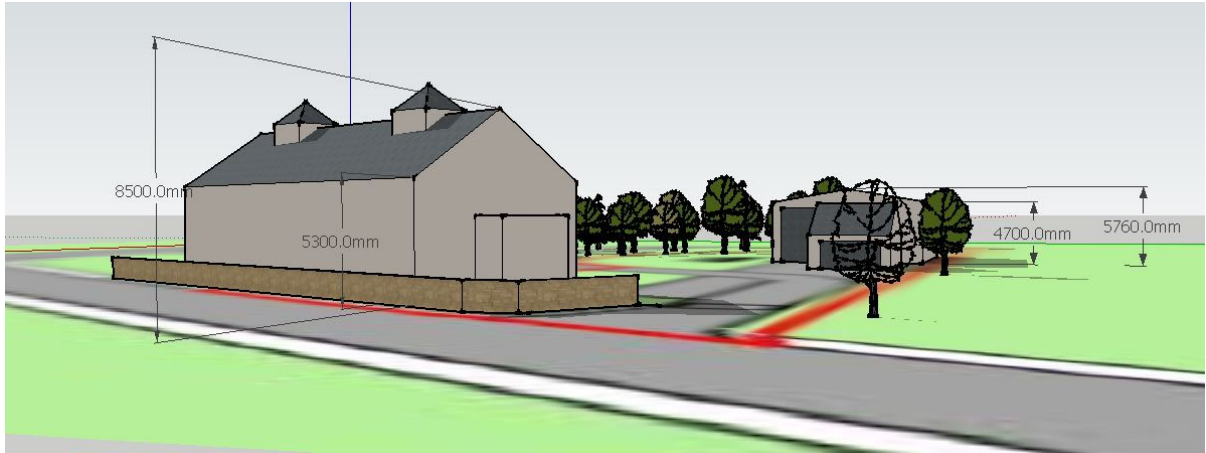
Conclusion

Our client has discussed new building with his neighbours and they are all fully supportive of the proposal.

Our clients lorry is currently parked within the site curtilage and we are of the understanding that the proposed building has been sited and designed to perform its intended function i.e. to house lorry securely and the scale, design and massing of the proposed building is in keeping with its surroundings.

We are of the understanding that the proposed building meets the criteria set in The Council's Supplementary Planning Guidance 'House Alterations and Extensions'.

Appendix 1 – 3d Image of proposed building in relation to its surroundings



Appendix 2 – Photographs from adjacent roads



Photograph approaching site from B743




Photograph approaching site from B743

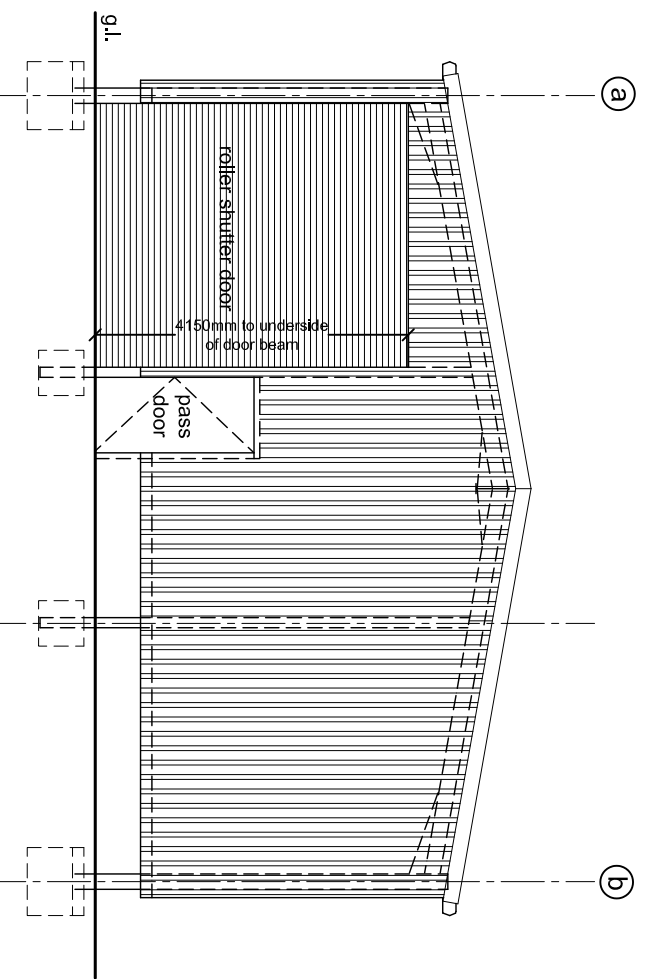


Photograph approaching site from B730

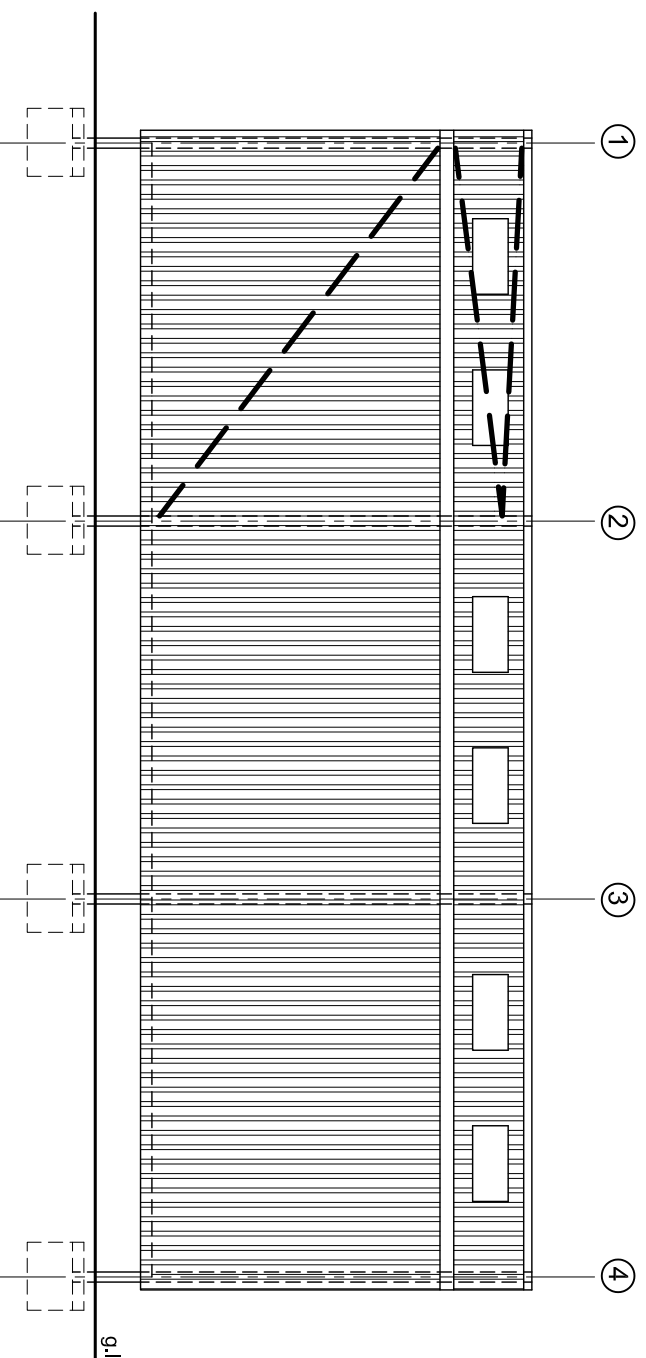


Photograph approaching site from B730

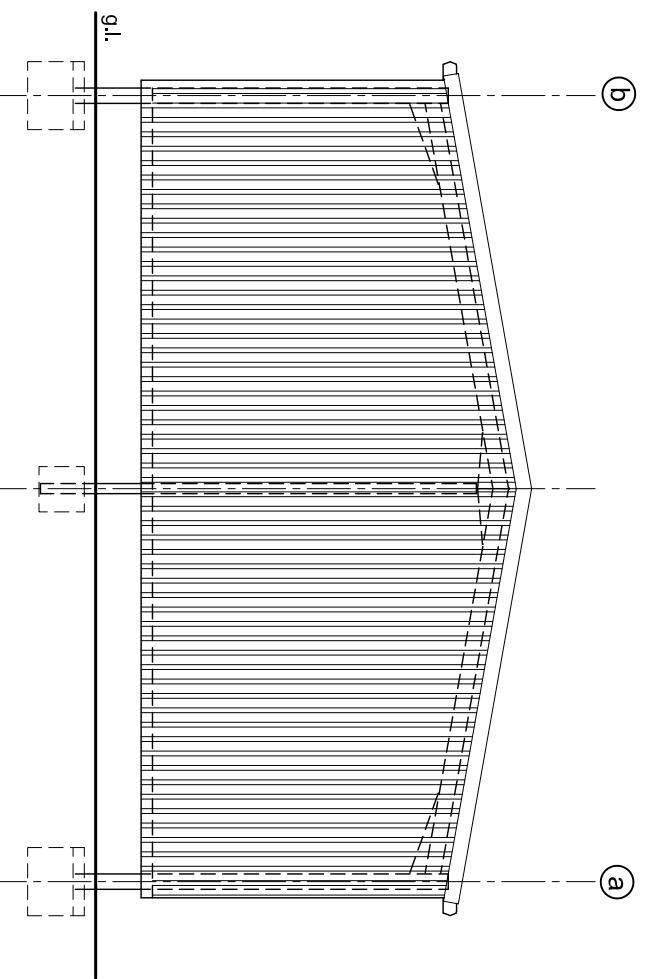
Roof Cladding: Steadmans AS35 0.7mm Polyester coated profiled steel roof cladding or equal and approved Anti condensation internal finish External Colour : Anthracite Grey	Walls: 0.9m high precast wall panels by Atlas or similar, full height blockwork wall adjacent to boundary
Roof lights: Rooflights to match roof sheeting profile by Steadmans or equal and approved	Surface Water Drainage: Clean roof water drainage to be existing surface water drain
Rainwater goods: Trinline gutter Colour : Anthracite Grey PVC downpipes by Marley or similar	Foul Drainage: No foul drainage required
Cladding: Steadmans AS24 profiled polyester coated cladding or equal and approved Colour : Anthracite Grey	Bracing: Diagonal roof bracing and eaves bracing 88.9 x 3.2 chs shown thus: 



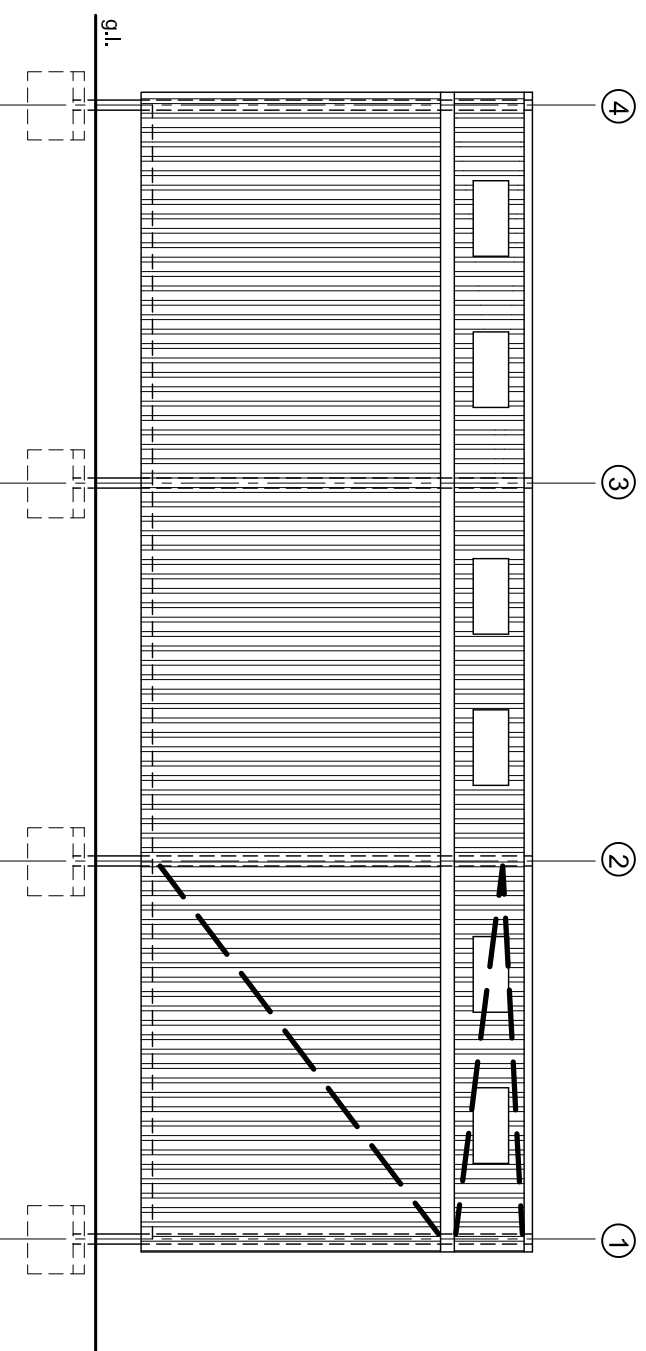
East Elevation (1:100)



South Elevation (1:100)



West Elevation (1:100)



North Elevation (1:100)

VE-TECH CONCRETE LTD

ARCHITECTURAL SERVICES

Strandhead Farm, Tarbolton, KA5 5NP
 Tel : 01292 540525

note
 Do not scale this drawing, use figured dimensions only,
 check dimensions on site, report any discrepancies to
 the client before proceeding

client / project
 J. Templeton

Proposed garage to house Lorry
 1 Stairgillan House, Tarbolton, KA5 5NN

drawing

Elevations

job no.	dwg no.	date
n/a	L(-)02	June '21
scale	drawn by	rev.
1:100	J. Baird	

revision nr / date / description

drawing status



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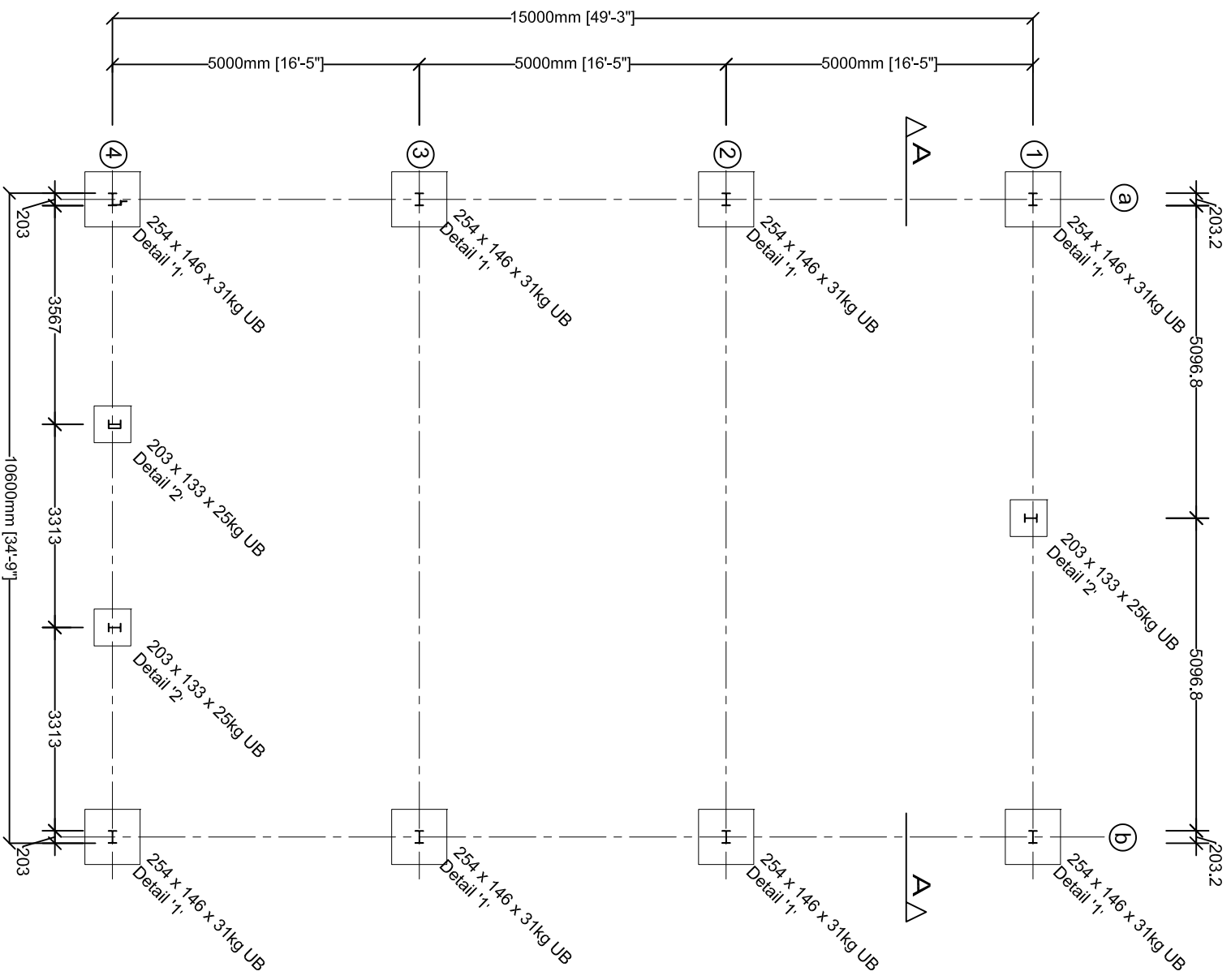
client / project
J. Templeton
Proposed garage to house Lorry
1 Stairgillan House, Tarbolton, KA5 5NN

drawing
Existing and Proposed Block Plan

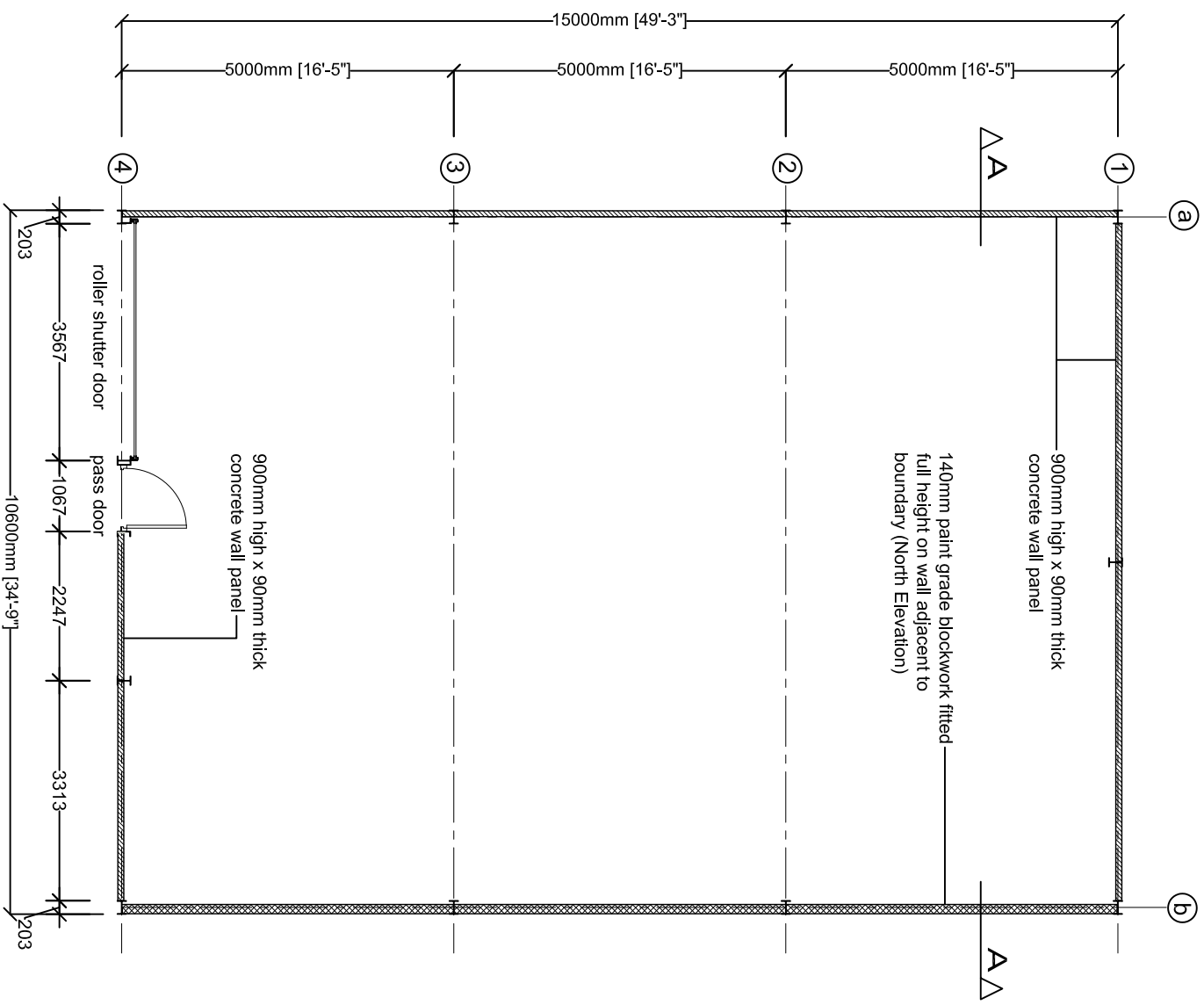
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scale 1:500	drawn by J. Baird	rev.

revision nr / date / description

drawing status



Foundation & Stanchion Layout (1:100)



Floor plan (1:100)

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 Strandhead Farm, Tarbolton, KA5 5NP
 Tel : 01292 540525

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client / project
 J. Templeton

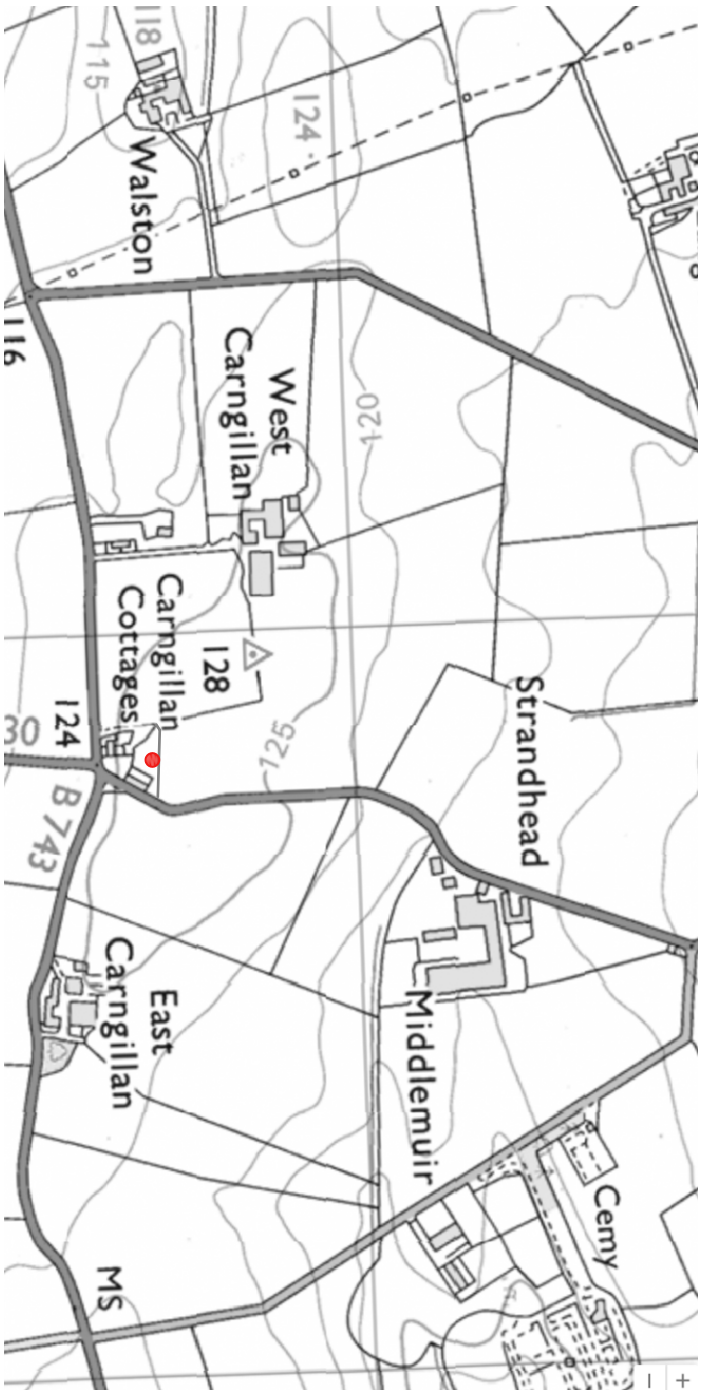
Proposed garage to house Lorry
 1 Stairgillan House, Tarbolton, KA5 5NN

drawing
 Foundation and Stanchion Layout /
 Floor plan

job no.	dwg no.	date
n/a	L(-)01	June '21
scale	drawn by	rev.
1:100	J. Baird	

revision nr / date / description

drawing status



LOCATION PLAN (1:10,000)



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ARCHITECTURAL SERVICES

Strandhead Farm, Tarbolton, KA5 5NP
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client / project
J. Templeton

Proposed garage to house Lorry
1 Stairgillan House, Tarbolton, KA5 5NN

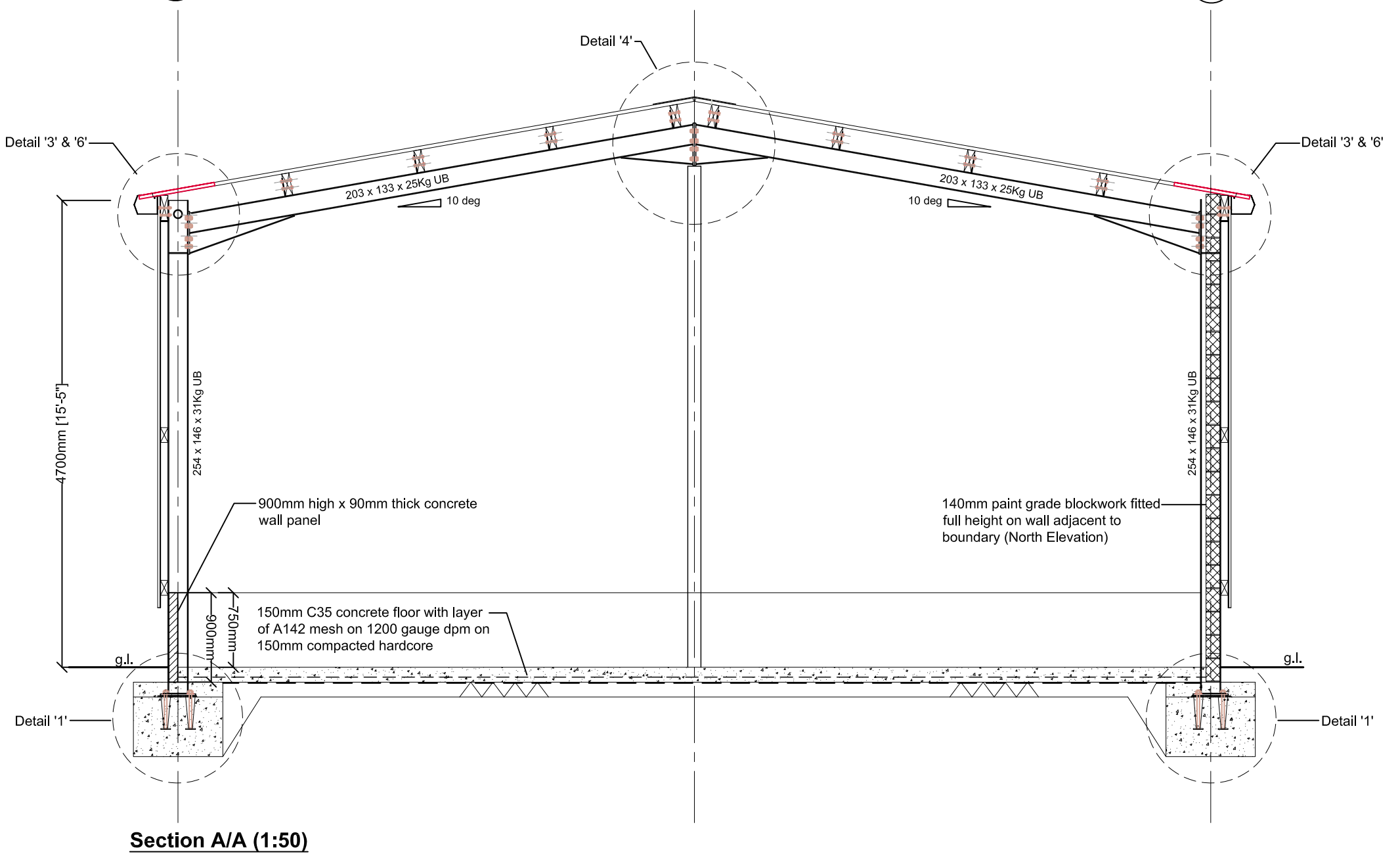
drawing

Location Plan

job no.	dwg no.	date
n/a	E(->)01	June '21
scale	drawn by	rev.
1:100	J. Baird	

revision nr / date / description

drawing status

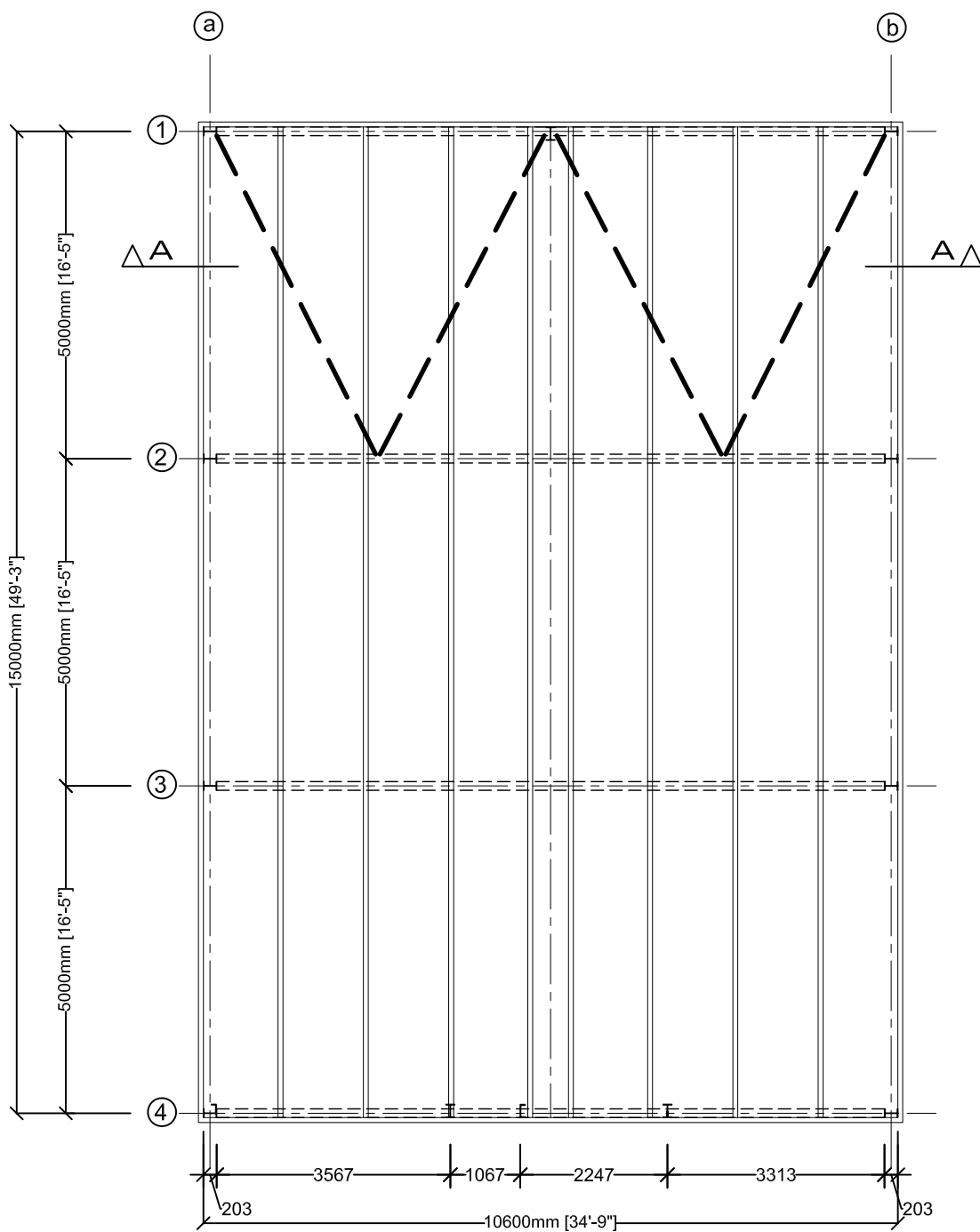


Section A/A (1:50)

diagonal bracing 88.9 x 4 chs
shown thus:

203 x 133 x 25kg UB rafters
@ max. 5.0m. crs

225 x 75 C16 timber roof purlins @
@ max. 1350mm crs



Rafter & Purlin Layout (1:100)

VE-TECH CONCRETE LTD
ARCHITECTURAL SERVICES

Strandhead Farm, Tarbolton, KA5 5NP
Tel : 01292 540525

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client / project

J. Templeton

Proposed garage to house Lorry
1 Stairgillan House, Tarbolton, KA5 5NN

drawing

Section A/A, Rafter and Purlin Layout

job no. n/a	dwg no. L(-)03	date June '21
scale varies	drawn by J. Baird	rev.

revision nr / date / description

drawing status



SOUTH AYRSHIRE COUNCIL

Refused under the Town and Country Planning (Scotland) Act, 1997 (As Amended), subject to reasons specified in the notification of this decision by South Ayrshire.

VE-TECH CONCRETE LTD
 ARCHITECTURAL SERVICES
 Strandhead Farm, Tarbolton, KA5 5NP
 Tel : 01292 540525

note
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client / project
 J. Templeton
 Proposed garage to house Lorry
 1 Stairgillan House, Tarbolton, KA5 5NN

drawing
 Existing and Proposed Block Plan

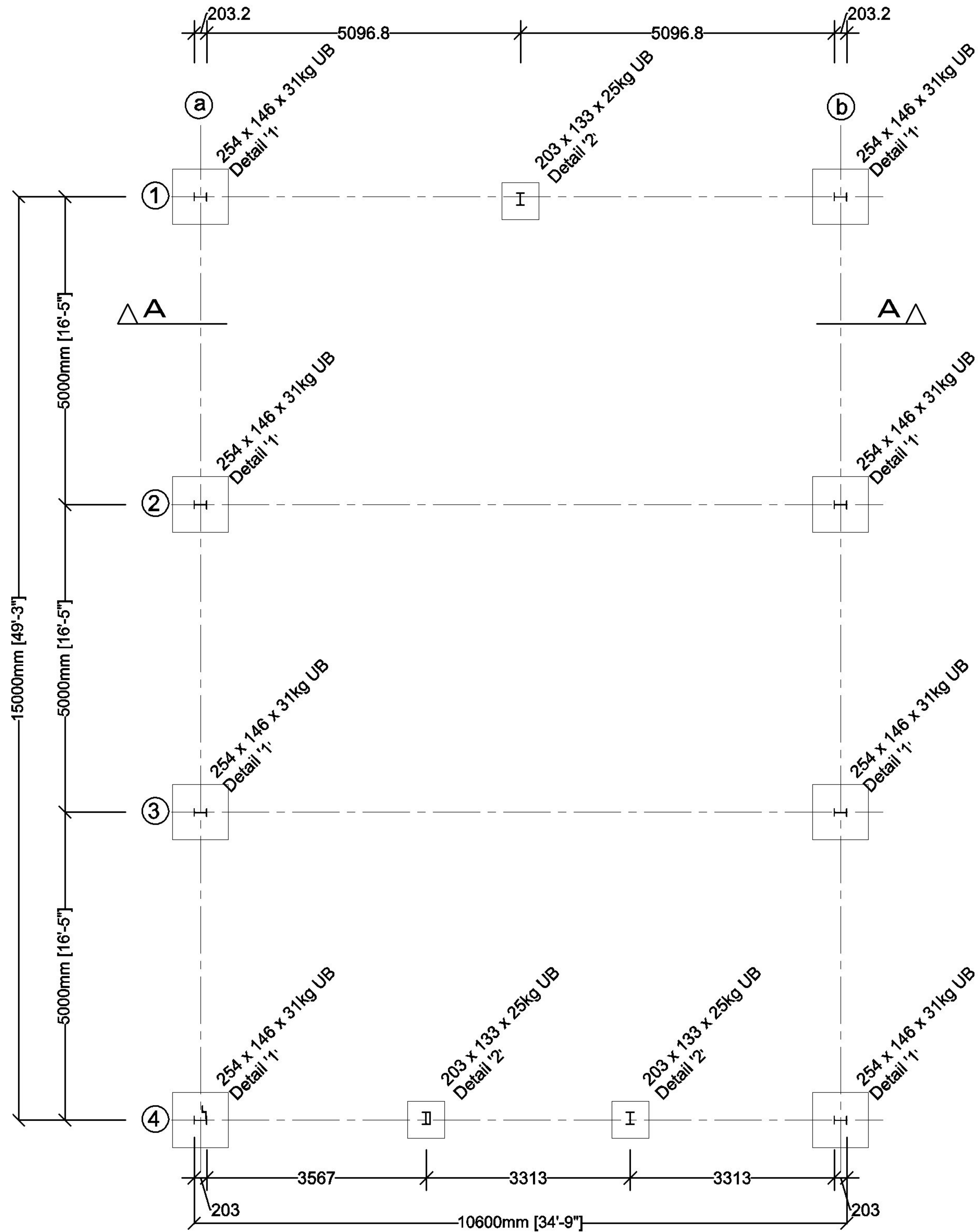
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scale 1:500	drawn by J. Baird	rev.

revision nr / date / description

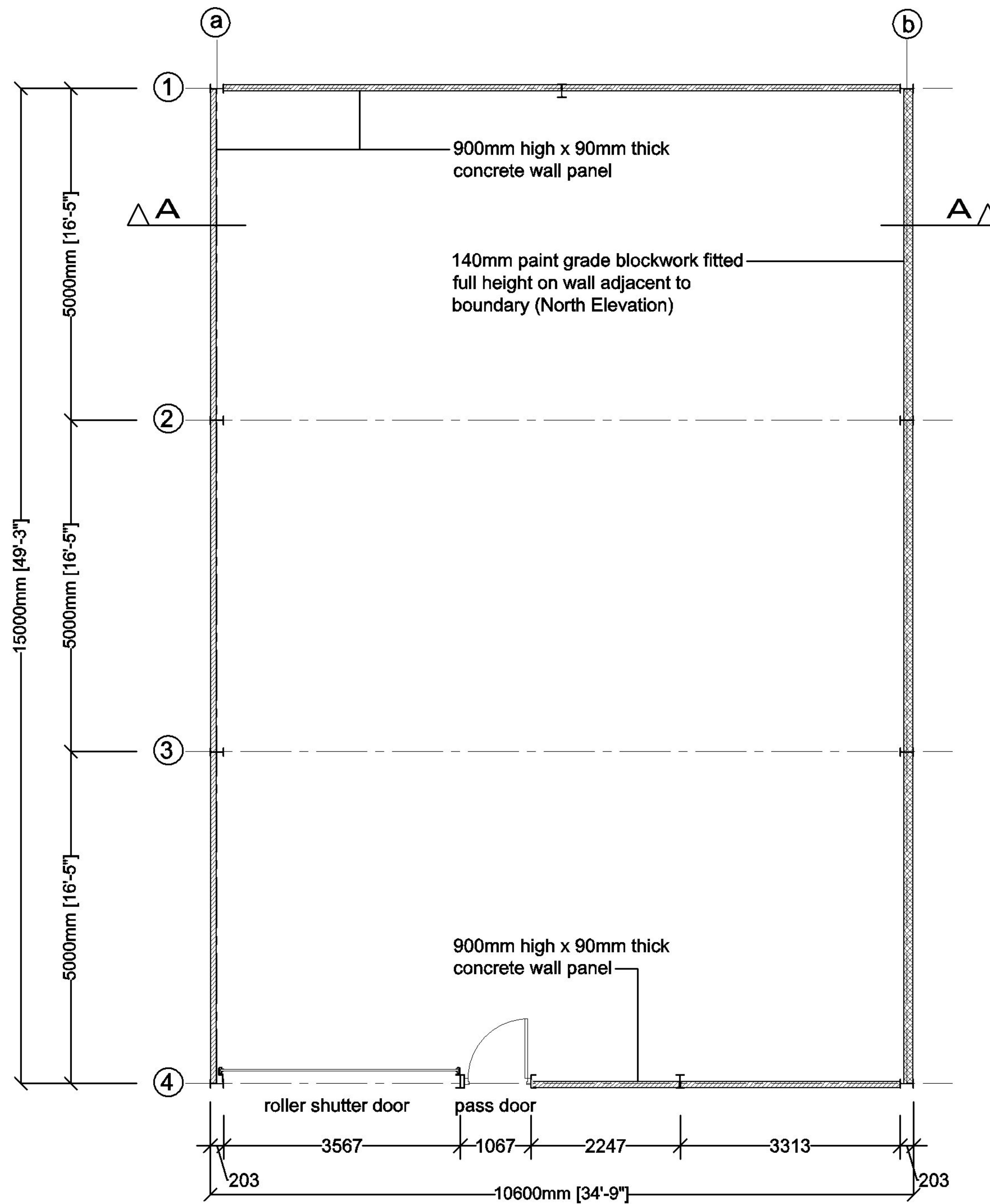
drawing status

SOUTH AYRSHIRE COUNCIL

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Foundation & Stanchion Layout (1:100)



Floor plan (1:100)

VE-TECH CONCRETE LTD
ARCHITECTURAL SERVICES

Strandhead Farm, Tarbolton, KA5 5NP
Tel : 01292 540525

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client / project

J. Templeton

Proposed garage to house Lorry
1 Stairgillan House, Tarbolton, KA5 5NN

drawing

Foundation and Stanchion Layout /
Floor plan

job no. n/a	dwg no. L(-)01	date June '21
scale 1:100	drawn by J. Baird	rev.

revision nr / date / description

drawing status

PLANNING & BUILDING WARRANT ISSUE

Roof Cladding:
 Steadmans AS35 0.7mm Polyester coated profiled steel roof cladding or equal and approved
 Anti condensation internal finish
 External Colour : Anthracite Grey

Roof lights:
 Rooflights to match roof sheeting profile by Steadmans or equal and approved


Rainwater goods:
 Trimline gutter
 Colour : Anthracite Grey
 PVC downpipes by Marley or similar

Cladding:
 Steadmans AS24 profiled polyester coated cladding or equal and approved
 Colour : Anthracite Grey

Walls:
 0.9m high precast wall panels by Atlas or similar, full height blockwork wall adjacent to boundary

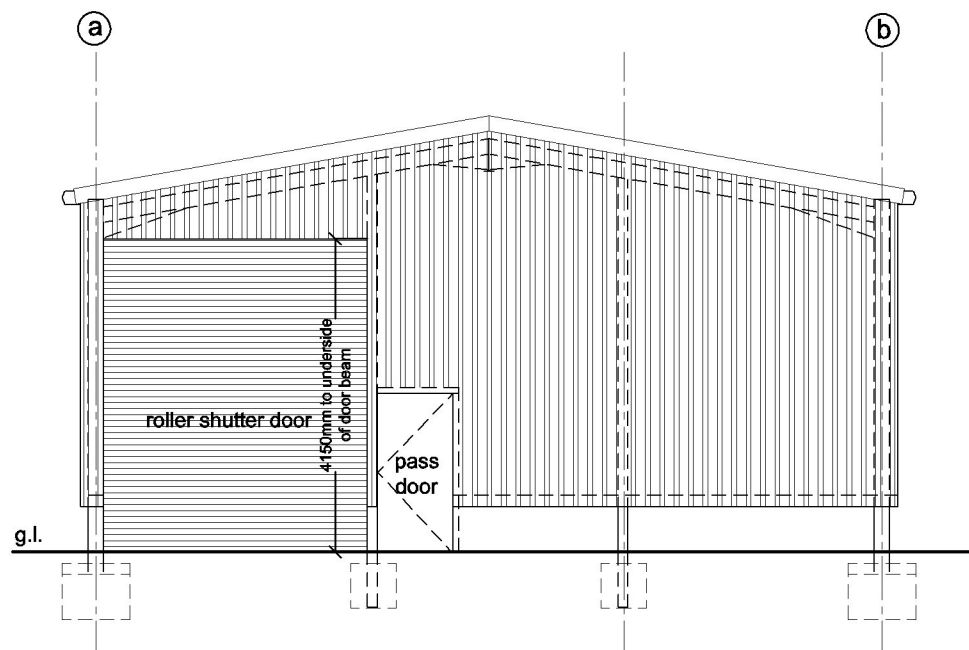
Surface Water Drainage:
 Clean roof water drainage to be existing surface water drain

Foul Drainage:
 No foul drainage required

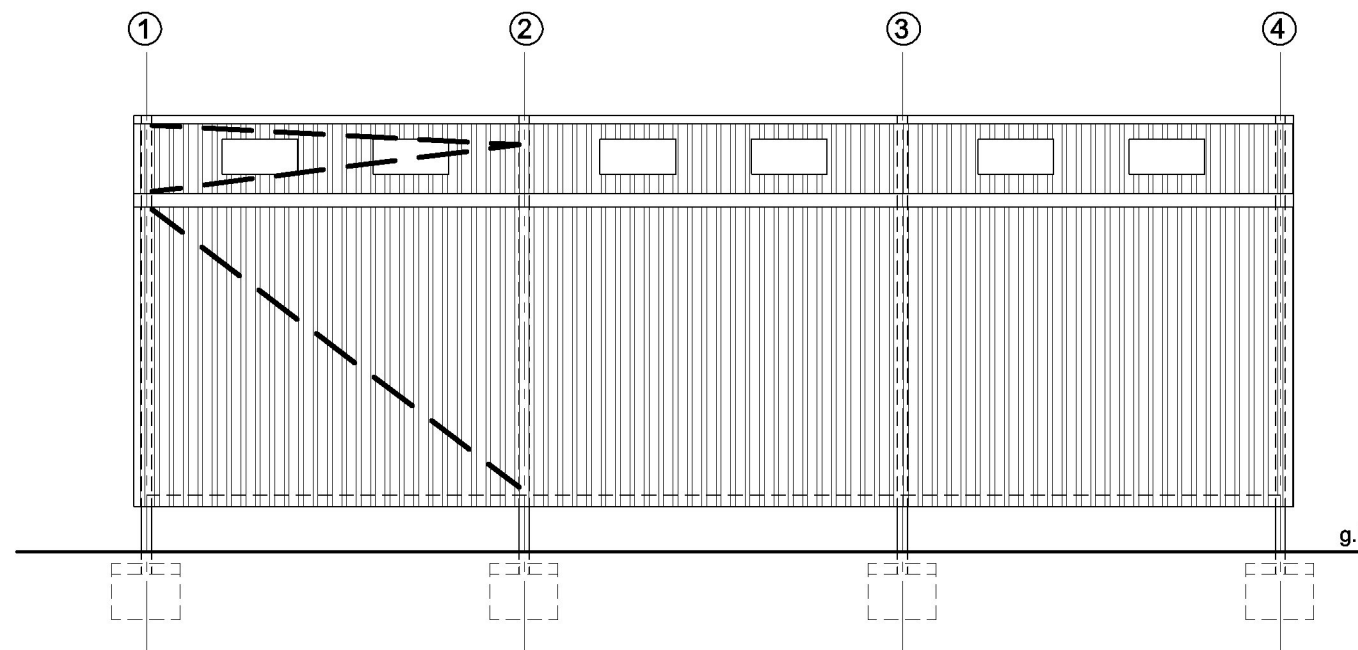
Bracing:
 Diagonal roof bracing and eaves bracing 88.9 x 3.2 chs shown thus: 

SOUTH AYRSHIRE COUNCIL

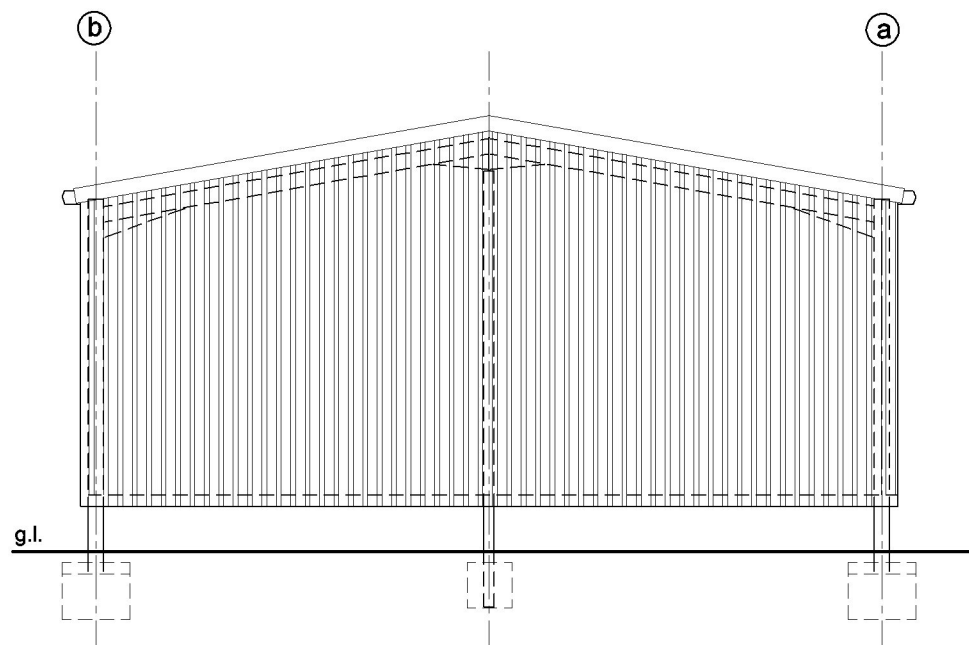
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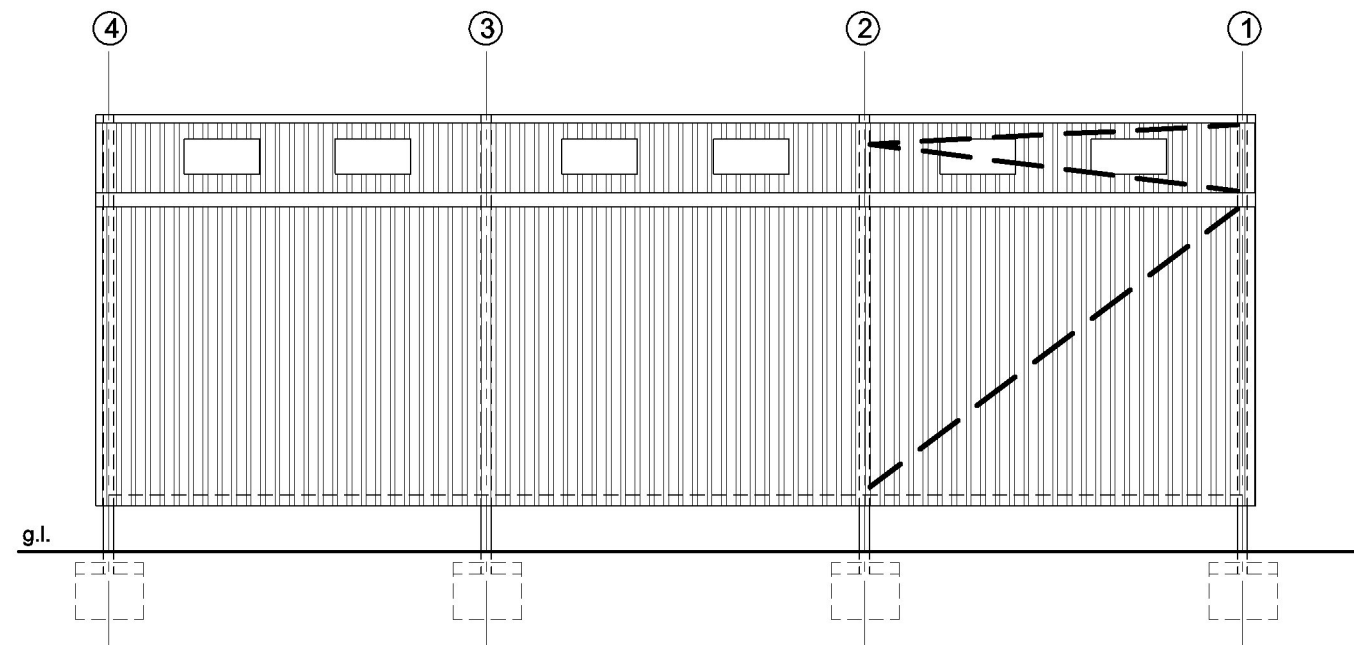
East Elevation (1:100)



South Elevation (1:100)



West Elevation (1:100)



North Elevation (1:100) ³⁶

VE-TECH CONCRETE LTD
 ARCHITECTURAL SERVICES

Strandhead Farm, Tarbolton, KA5 5NP
 Tel : 01292 540525

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client / project

J. Templeton

Proposed garage to house Lorry
 1 Stairgillan House, Tarbolton, KA5 5NN

drawing

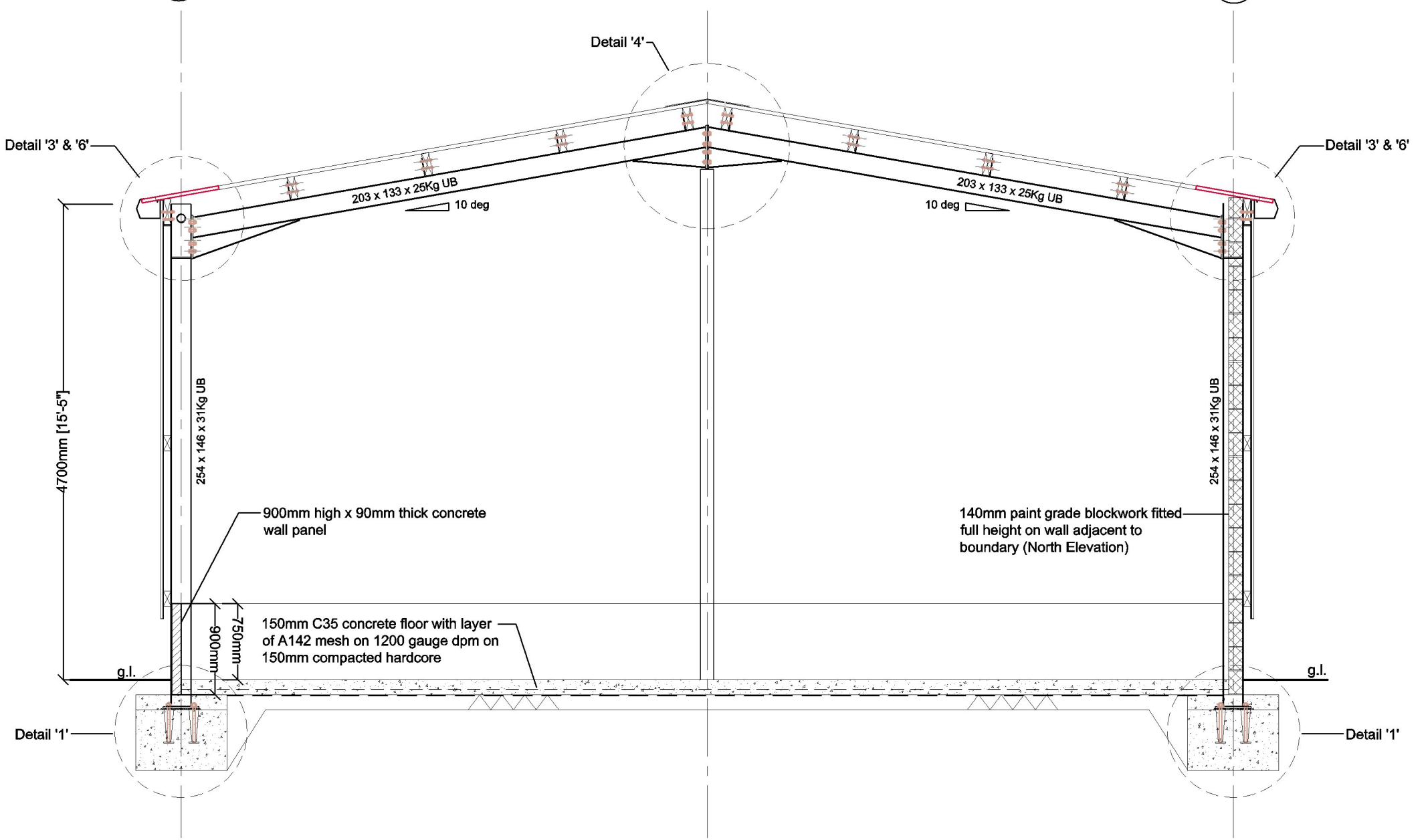
Elevations

job no.	dwg no.	date
n/a	L(-)02	June '21
scale	drawn by	rev.
1:100	J. Baird	

revision nr / date / description

drawing status

PLANNING & BUILDING WARRANT ISSUE



Section A/A (1:50)

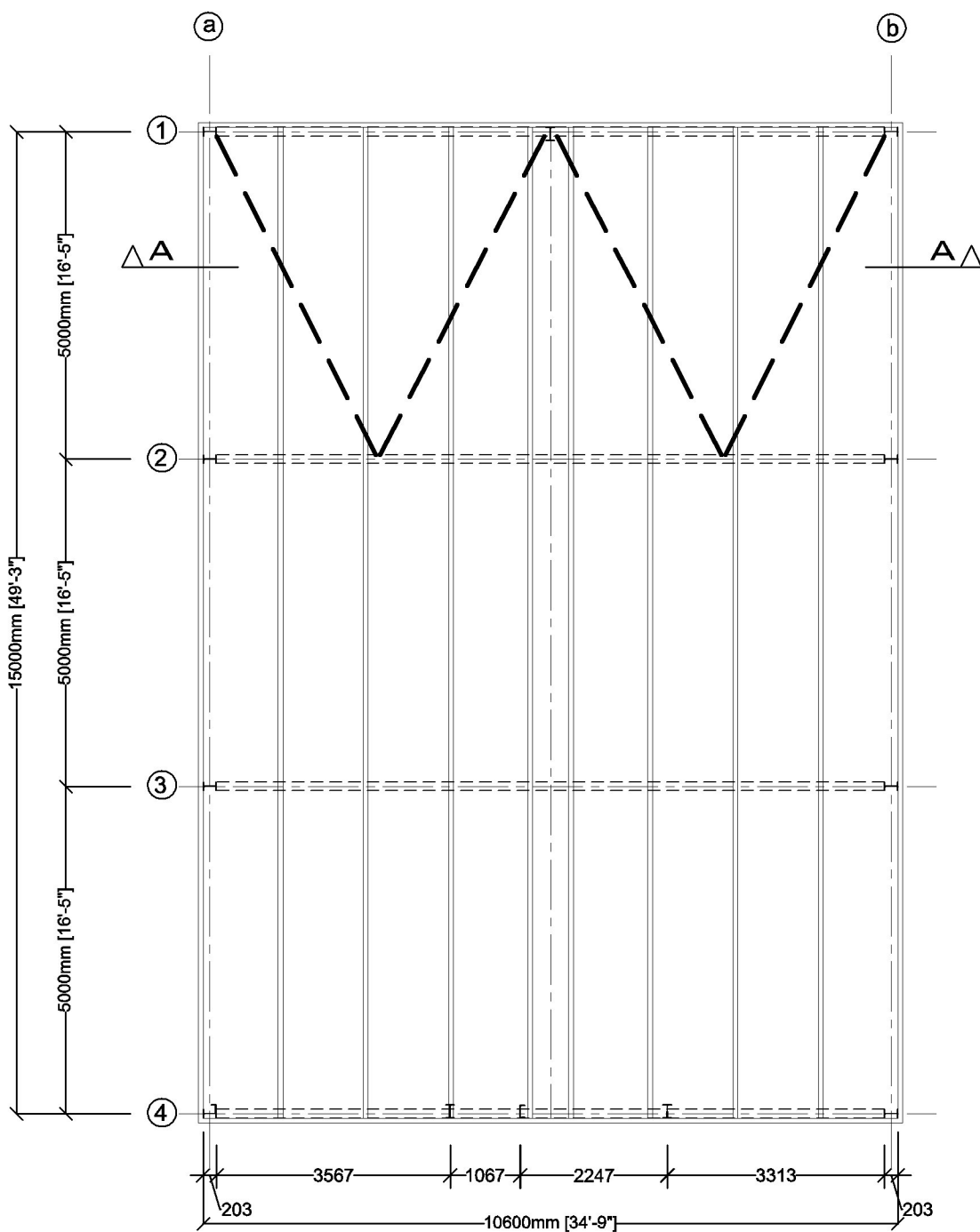
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shown thus:

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Rafter & Purlin Layout (1:100)

VE-TECH CONCRETE LTD
ARCHITECTURAL SERVICES

Strandhead Farm, Tarbolton, KA5 5NP
Tel : 01292 540525

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client / project
J. Templeton
Proposed garage to house Lorry
1 Stairgillan House, Tarbolton, KA5 5NN

drawing
Section A/A, Rafter and Purlin Layout

job no. n/a	dwg no. L(-)03	date June '21
scale varies	drawn by J. Baird	rev.

revision nr / date / description

drawing status

LOCAL DEVELOPMENT

**REFUSAL OF APPLICATION FOR PLANNING PERMISSION
(Delegated)**

Ref No: 21/00682/APP

SOUTH AYRSHIRE COUNCIL

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
as amended by the PLANNING ETC. (SCOTLAND) ACT 2006**

TOWN AND COUNTRY PLANNING (GENERAL DEVELOPMENT) (SCOTLAND) ORDERS

**To: Mr John Templeton
per Ve-Tech Concrete Ltd
Janey Baird
Strandhead Farm
Tarbolton
KA5 5NP**

With reference to your application dated **23rd June 2021** for planning permission under the above-mentioned Acts and Orders for the following development, viz:-

Erection of storage shed

**at: 1 Stairgillan House B730 From Council Boundary At Stair Bridge To B743 At Carngillan
Cottages Tarbolton Mauchline South Ayrshire
KA5 5NN**

The Council in exercise of their powers under the above-mentioned Acts and Orders hereby **refuse** planning permission for the said development.

The drawings and other documents, where relevant, which relate to this refusal can be viewed at www.south-ayrshire.gov.uk/planning/.

The reasons for the Council's decision are:

- (1) That the proposed storage shed is contrary to LDP policies: Sustainable Development, Rural Housing, SPP and the Council's Planning Guidance on Rural Housing, as the development is considered to be excessive in its scale, design and massing in relation to its rural domestic setting and shall be visually prominent within the rural landscape.

List of Plans Determined:

Drawing - Reference No (or Description): **Refused** E(--)
01

Drawing - Reference No (or Description): **Refused** L(-)
01

Drawing - Reference No (or Description): **Refused** L(--)
02

Drawing - Reference No (or Description): **Refused** L(--)
03

Drawing - Reference No (or Description): **Refused** L(--)
04

Other - Reference No (or Description): **Refused** PLANNING STATEMENT

The explanation for reaching this view is set out in the Report of Handling and which forms a part of the Planning Register.

Dated: 20th August 2021

.....
Julie Nicol
Service Lead – Planning and Building Standards

PLANNING SERVICE, COUNTY BUILDINGS, WELLINGTON SQUARE, AYR, KA7 1DR