

# Local Development Plan Redevelopment Opportunities Schedule



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## Redevelopment Opportunities

### Introduction

The purpose of this brochure is to maximise development in South Ayrshire by highlighting the most significant redevelopment opportunities identified in the proposed South Ayrshire Local Development Plan and to outline the types of development that would be appropriate on these sites, in a succinct and user friendly format.

### Relationship with the Local Development Plan

The brochure supplements and complements the policies of the Local Development Plan by providing a description of the site and an indication of the type of uses that may be acceptable on the site. The opportunity sites shown in the proposed Local Development Plan are blanked out, so the guidance contained within the brochure relating to those sites constitutes the development plan position. The range of preferred uses will be considered as the development plan position on these sites.

The statutory link to the development plan, which gives this brochure the material weight of the development plan is contained within LDP Policy Development Opportunities, which is shown below: -

#### **LDP policy: development opportunities**

We will actively encourage development on brownfield sites instead of greenfield sites.

To strengthen the vitality and vibrancy of all town centres, we will encourage the redevelopment of town-centre brownfield sites over other potential sites outside of town centres.

Redeveloping these sites offers an opportunity to achieve the best sustainable economic growth, so we will prepare a redevelopment opportunities schedule which will identify specific sites and suitable uses for those sites.

### Redevelopment Opportunity Sites

The process of change is accepted as an essential element of economic survival. Some of this change involves processes or activities, which are unable to be accommodated in existing land and buildings. This cyclical change has, in some locations, resulted in significant areas of vacant or derelict land and buildings. Land which has previously been developed, and which now lies vacant or derelict represents a wasting economic resource which often detracts from the overall environmental quality of an area. The brochure identifies sites which have the greatest potential for redevelopment.

The successful redevelopment of site into productive use can have many benefits, such as limiting the need for building on greenfield sites. Furthermore, the redevelopment of brownfield sites within settlements can contribute to the objectives of sustainability by providing new services and facilities close to existing services and centres of population. Redevelopment opportunity sites in this brochure have been identified as being appropriate for a wide range of uses including business, industry, housing, retail, leisure and tourism.

A number of redevelopment sites are located within, or adjacent to, established town centres. These sites are of particular importance in terms of providing high quality development opportunities which will support and strengthen the vitality and viability of the town centres, making them more attractive for continued private sector investment. For these reasons, the development of these sites is considered preferable to alternative out-of-centre sites, where they could accommodate a use that is compatible with the town centre (guidance on acceptable town centre uses is contained within the LDP). Given the importance of these sites and their excellent potential for re-use, the Council will seek to ensure that they are developed in a comprehensive rather than piecemeal manner.

At the time of publication of this document, Scottish Water promote the use of their 'Pre-Development Enquiry' service whereby prospective developers can fill out a 'Pre-Development Enquiry Form' to enable an assessment of whether Scottish Water is able to provide planned development with water and/or drainage services. Scottish Water encourages the submission of the PDEF at an early stage in the consideration of development sites to ensure that applicants are fully aware of the infrastructure requirements of their site. The form can be found on Scottish Water's website.



## Redevelopment Opportunities

### Identification and Selection of Sites

Redevelopment opportunity sites were identified in a number of ways, including; -

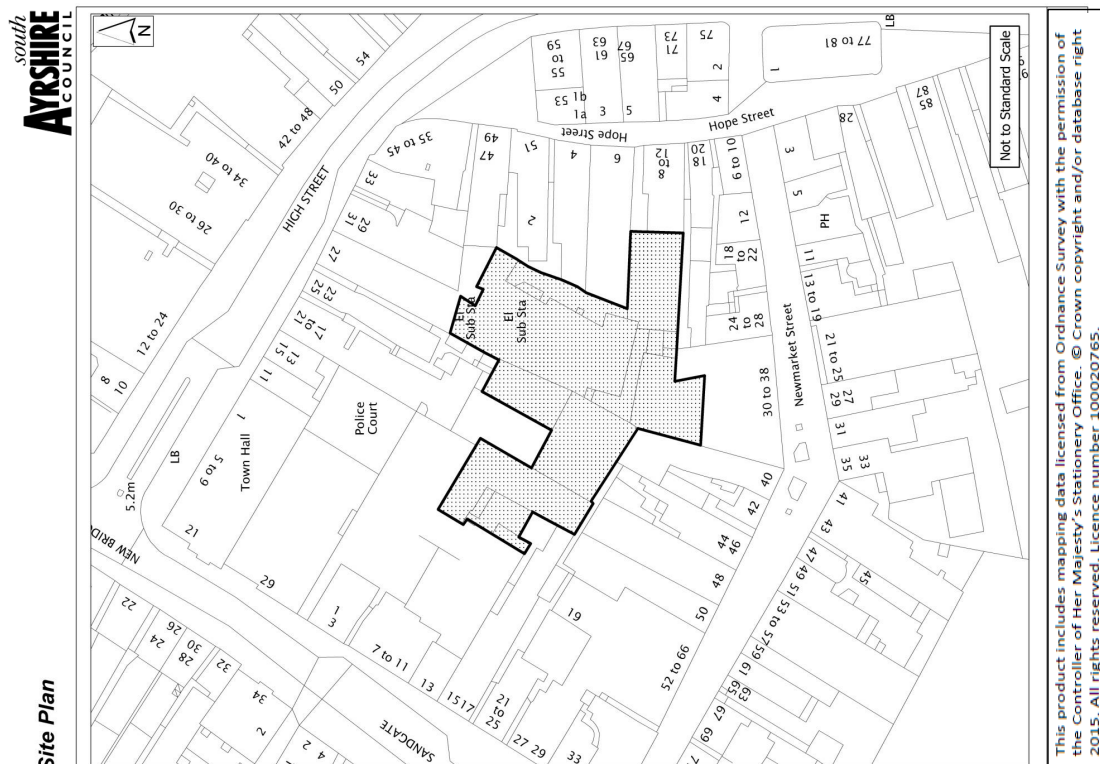
- Sites submitted in response to the call for sites;
- Sites that remain undeveloped from the South Ayrshire Local Plan Development Opportunities Brochure;
- Known redundant sites;
- Data from vacant and derelict land surveys;
- Data from industrial land supply.

Sites that were identified were subjected to a detailed assessment process, which was established for the Local Development Plan to meet SEA requirements. This involved a desk-based constraints identification process, where constraints were identified and scored in accordance with the predicted severity of the constraints. A site report was then completed for each site to provide a qualitative analysis of the identified constraints. The output of this process was environmental recommendations, which were fed into the brochure. In turn, the brochure itself indicates any implications of constraints for the development sites.

# Redevelopment Opportunities

## Sites

Site Details	
Site Reference	RO1
Settlement	Ayr
Site Address	Afflecks
Site Area	0.2 hectares
OS Grid Reference	NS337220
Planning Details	
Local Development Plan Policies	Town Centres, Historic Environment, Development Opportunities
Preferred Uses	Retail, Leisure, Tourism, Office Residential
Further Details	
<p>The site is located within Ayr town centre, highly accessible by public transport. Access would require to be taken through the acquisition of properties on High Street, Newmarket Street or Hope Street.</p>	
Environmental Recommendations	
<p>Consultation with the Council in terms of site access and archaeological resources should ensure that there are no adverse impacts upon either. The development should include sustainable design solutions and incorporate carbon reducing technologies, where feasible.</p>	



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# Redevelopment Opportunities

## Site Details

Site Reference	RO2
Settlement	Prestwick
Site Address	Boundary Road
Site Area	0.46 hectares
OS Grid Reference	NS356240

## Planning Details

Local Development Plan Policies	Heathfield, Development Opportunities
Preferred Uses	General Industry, workshop, small scale/ancillary office, business use, storage and distribution uses

## Further Details

Located within the established Heathfield Industrial Estate. Immediate access available onto Heathfield Road and the A77 at Whitletts Roundabout.

## Environmental Recommendations

Consultation with the Council's Roads Service and Environmental Health Service as part of the planning application process should ensure no adverse impacts upon road network capacity or noise. Given the proximity to the trunk road network and associated cumulative implications with other sites within Heathfield, consultation with Transport Scotland may be necessary to scope and agree any individual or cumulative assessment that may be required. The development should include sustainable design solutions and incorporate carbon reducing technologies, where feasible.

Site Plan



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# Redevelopment Opportunities

Site Details	
Site Reference	RO3
Settlement	Prestwick
Site Address	Callander Road
Site Area	4.1 hectares
OS Grid Reference	NS359239
Planning Details	
Local Development Plan Policies	Heathfield, Development Opportunities
Preferred Uses	General Industry, workshop, small scale/ancillary office, business use, storage and distribution uses
Further Details	
<p>Located within the established Heathfield Industrial Estate. Immediate access available onto Heathfield Road and the A77 at Whitletts Roundabout.</p>	
Environmental Recommendations	
<p>Consultation with the Council's Roads Service and Environmental Health Service as part of the planning application process should ensure no adverse impacts upon road network capacity or noise. Given the proximity to the trunk road network and associated cumulative implications with other sites within Heathfield, consultation with Transport Scotland may be necessary to scope and agree any individual or cumulative assessment that may be required. The development should include sustainable design solutions and incorporate carbon reducing technologies, where feasible.</p>	

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# Redevelopment Opportunities

## Site Details

Site Reference	RO4
Settlement	Ayr
Site Address	Doonfoot Road
Site Area	1.3 hectares
OS Grid Reference	NS359239

## Planning Details

Local Development Plan Policies	Residential Policy within Settlements, Release Sites and Windfall Sites, Development Opportunities
Preferred Uses	Residential, Hotel, Care Home

## Further Details

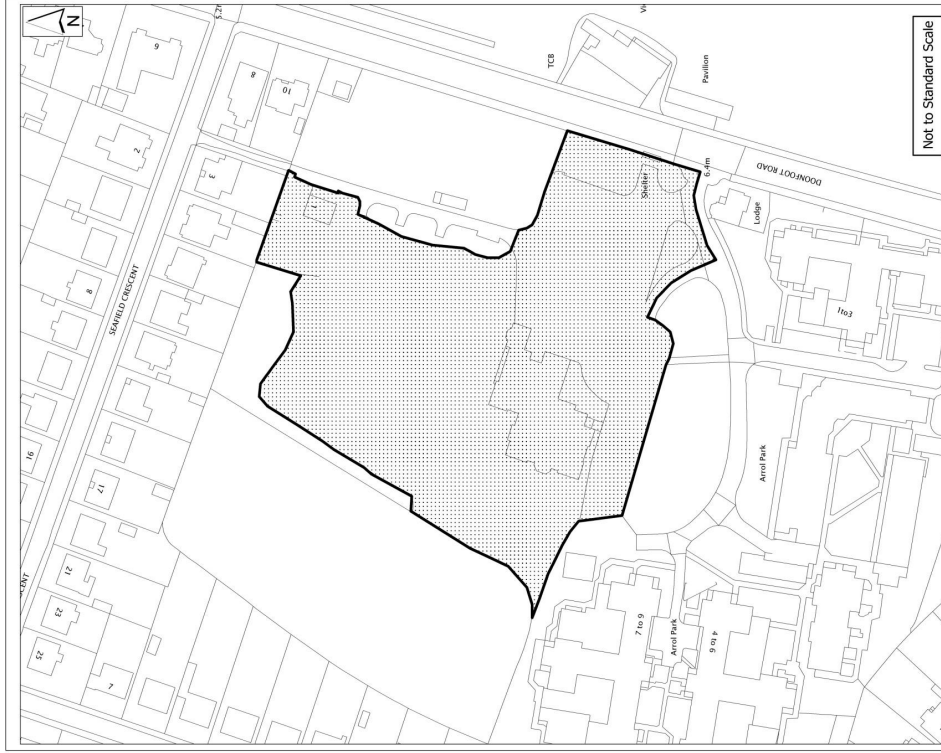
The site is close to Ayr town centre and the seafront. Contained within the site are numerous mature trees which are covered by a tree preservation order. The site contains Seafield House which is listed at Category B.

## Environmental Recommendations

Any development within this site will be required to preserve the setting of Seafield House as well as features of special architectural or historic interest. The content of LDP policy: historic environment will play a pivotal role in the assessment of any development proposals for this site. Any development should include sustainable design solutions and incorporate carbon reducing technologies, where feasible.



Site Plan



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# Redevelopment Opportunities

Site Details	
Site Reference	RO5
Settlement	Prestwick
Site Address	Heathfield
Site Area	34.3 hectares
OS Grid Reference	NS363240
Planning Details	
Local Development Plan Policies	Heathfield, Development Opportunities
Preferred Uses	General industry, workshop, small scale/ancillary office, business use, storage and distribution
Further Details	
<p>Large greenfield development opportunity suitable for a range of industrial uses. The site is located immediately adjacent to Prestwick Airport's second runway and benefits from easy access onto the A77 via the Whitellets Roundabout.</p>	
Environmental Recommendations	
<p>Consultation with the Council's Road Service and Environmental Health Service as part of the planning application process should ensure no adverse impacts upon the environment. Given the proximity to the trunk road network and associated cumulative implications with other sites within Heathfield, consultation with Transport Scotland may be necessary to scope and agree any individual or cumulative assessment that may be required. Part of the site is covered by an Airport Public Safety Zone and as such consultation with the Civil Aviation Authority will be necessary as part of the consideration of any development proposal. The development should include sustainable design solutions and incorporate carbon reducing technologies, where feasible.</p>	

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# Redevelopment Opportunities

## Site Details

Site Reference	RO6
Settlement	Prestwick
Site Address	Heathfield Road
Site Area	0.4 hectares
OS Grid Reference	NS358236

## Planning Details

Local Development Plan Policies	Heathfield, General Retail, Development Opportunities
Preferred Uses	Retail (in accordance with the Heathfield Strategy)

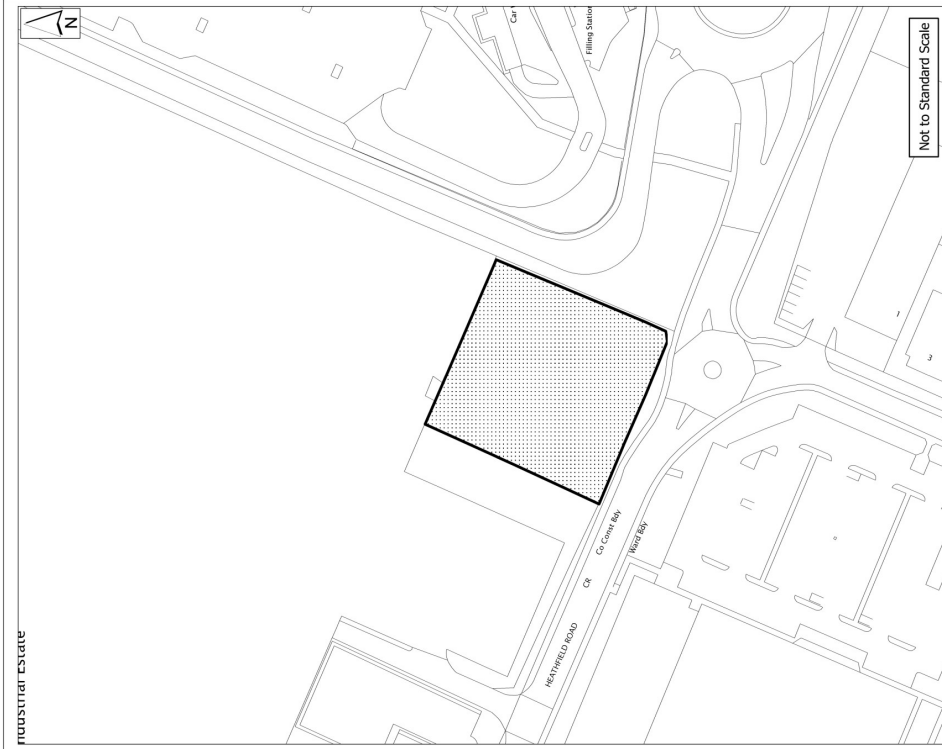
## Further Details

This is a small development opportunity site with a frontage onto Heathfield Road. The site lies within 1km of Whitlets Roundabout and the A77 (T).

## Environmental Recommendations

Consultation with the Council's Roads Service and Environmental Health Service as part of the planning application process should ensure no adverse impacts upon road network capacity or noise. Given the proximity to the trunk road network and associated cumulative implications with other sites within Heathfield, consultation with Transport Scotland may be necessary to scope and agree any individual or cumulative assessment that may be required. The development should include sustainable design solutions and incorporate carbon reducing technologies, where feasible.

### Site Plan



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# Redevelopment Opportunities

Site Details	
Site Reference	RO7
Settlement	Ayr
Site Address	Lochside Road
Site Area	6.5 hectares
OS Grid Reference	NS353232
Planning Details	
Local Development Plan Policies	Heathfield, Development Opportunities
Preferred Uses	General industry, workshop, small scale/ancillary office, business use, storage and distribution. The Council is supportive of the proposed development of a new football stadium for Ayr United at South Sanquhar. Within the hatched area, shown in the LDP—to the south of the site residential development will also be supported.
Further Details	
<p>The site benefits from good road links to the A77 (T) and the wider road network. Any application for the development of this site should demonstrate that full consideration has been given towards the transport implications of the development, particularly where there are implications for the nearby trunk road network. It occupies a large, flat area within an established industrial area. A haulage railway line runs along the southern boundary of the site. The upper reaches of the Half Mile Burn dissect the site.</p>	
Environmental Recommendations	
<p>Consultation with the Council's Roads section and Environmental Health as part of the planning application process should ensure no adverse impacts upon road network capacity or noise. Given the proximity to the trunk road network and associated cumulative implications with other sites within Heathfield, consultation with Transport Scotland may be necessary to scope and agree any individual or cumulative assessment that may be required. Potential flooding issues associated with the watercourse should be assessed. Where development proposals could have implications for the Half Mile Burn, the developer will be expected to enter into discussions with SEPA prior to the submission of any planning application. SEPA will also be consulted as part of the planning application process, where necessary. The development should include sustainable design solutions and incorporate carbon-reducing technologies, where feasible.</p>	

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# Redevelopment Opportunities

## Site Details

Site Reference	RO8
Settlement	Ayr
Site Address	McCall's Avenue East
Site Area	0.96 hectares
OS Grid Reference	NS345228

## Planning Details

Local Development Plan Policies  
Residential Policy within Settlements, Release Sites and Windfall Sites, Development Opportunities

Preferred Uses  
Residential/light industry

## Further Details

The site is located within the heart of Ayr's urban area, adjacent to existing industry, relatively high density traditional housing and is situated to the north of a freight railway line. At present, the site accommodates a large four storey brick built mill/warehouse.

## Environmental Recommendations

Consultation with the Council's Road Service and Environmental Health Service as part of the planning application process should ensure no adverse impacts upon the environment.  
The development should include sustainable design solutions and incorporate carbon reducing technologies, where feasible.

Site Plan



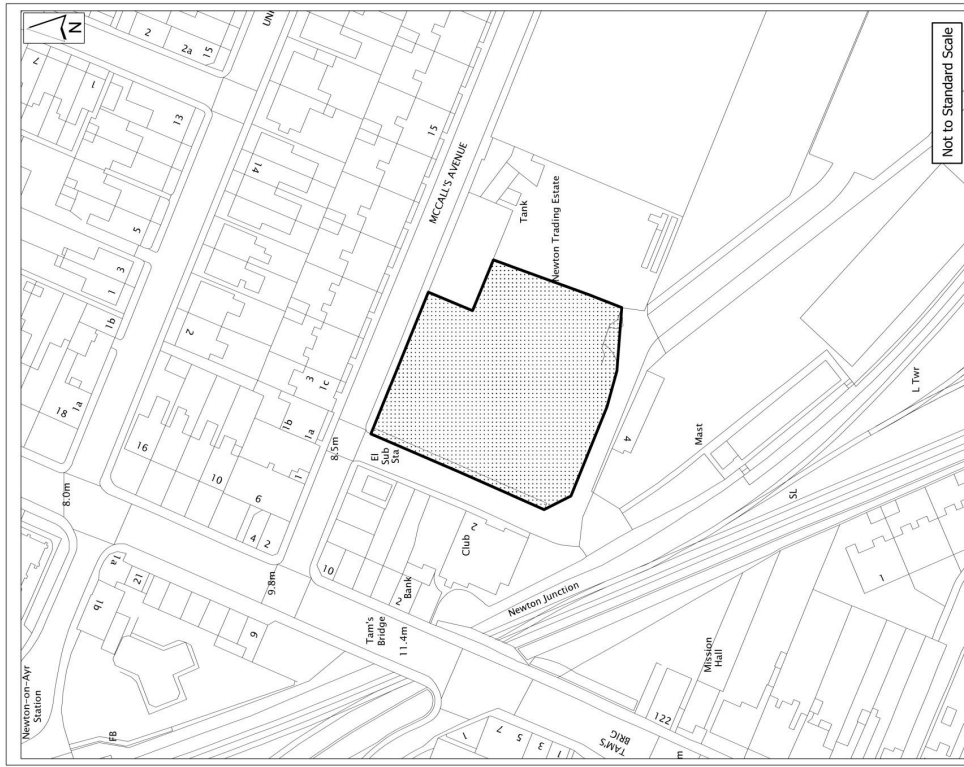
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# Redevelopment Opportunities

Site Details	
Site Reference	RO9
Settlement	Ayr
Site Address	McCall's Avenue West
Site Area	0.3 hectares
OS Grid Reference	NS342220
Planning Details	
Local Development Plan Policies	Residential Policy within Settlements, Release Sites and Windfall Sites, Development Opportunities
Preferred Uses	Residential / light industry
Further Details	
<p>The site is located within an established light industrial area, which has been undergoing some transition towards other uses.</p> <p>The site is located within close proximity of both Ayr and Prestwick and is close to the Newton-on-Ayr railway station.</p> <p>The site is partly within SEPA's Surface Water Flood Map.</p>	
Environmental Recommendations	
<p>Consultation with the Council's Road Service and Environmental Health Service as part of the planning application process should ensure no adverse impacts upon the environment.</p> <p>Consultation with SEPA is recommended prior to the submission of any development proposals for the site.</p> <p>The development should include sustainable design solutions and incorporate carbon reducing technologies, where feasible.</p>	



Site Plan



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# Redevelopment Opportunities

## Site Details

Site Reference	RO10
Settlement	Ayr
Site Address	Old Farm Road
Site Area	1.3 hectares
OS Grid Reference	NS355233

## Planning Details

Local Development Plan Policies	Heathfield, Development Opportunities
Preferred Uses	General industry, workshop, small scale/ancillary office, business use, storage and distribution.

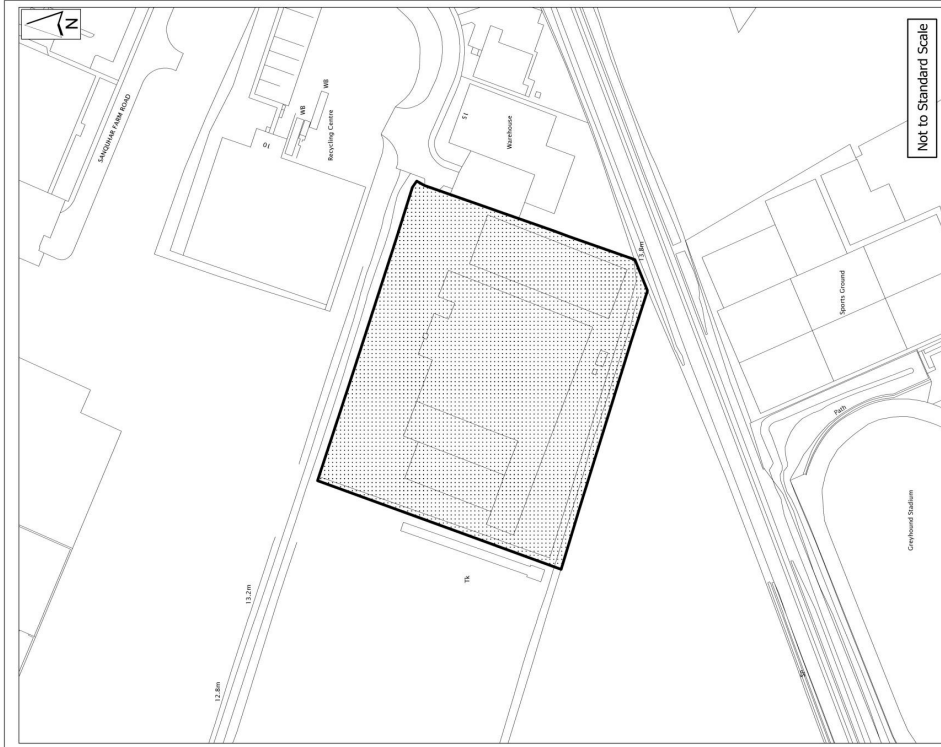
## Further Details

The site is within an established industrial area. It has good links to the A77 (T) and the wider road network. The site is currently occupied by the frame of a large building which was left incomplete. There is therefore an opportunity to utilise this building or to clear the site entirely. The Half Mile Burn runs along the edge of this site.

## Environmental Recommendations

Consultation with the Council's Road Service and Environmental Health Service as part of the planning application process should ensure no adverse impacts upon the environment. Potential flooding issues associated with the watercourse should be assessed. Where development proposals could have implications for the Half Mile Burn, the developer will be expected to enter into discussions with SEPA prior to the submission of any planning application. SEPA will also be consulted as part of the planning application process, where necessary. Given the proximity to the trunk road network and associated cumulative implications with other sites within Heathfield, consultation with Transport Scotland may be necessary to scope and agree any individual or cumulative assessment that may be required. The development should include sustainable design solutions and incorporate carbon reducing technologies, where feasible.

Site Plan



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# Redevelopment Opportunities

Site Details	
Site Reference	RO11
Settlement	Ayr
Site Address	Sanquhar Farm Road
Site Area	3.89 hectares
OS Grid Reference	NS355234
Planning Details	
Local Development Plan Policies	Heathfield, Development Opportunities
Preferred Uses	General industry, workshop, small scale/ancillary office, business use, storage and distribution. The Council is supportive of the proposed development of a new football stadium for Ayr United at South Sanquhar.
Further Details	
<p>The site benefits from good road links to the A77 (T) and the wider road network. It occupies a large flat area within an established industrial area. The site is relatively remote from housing.</p>	
Environmental Recommendations	
<p>Consultation with the Council's Road Service and Environmental Health Service as part of the planning application process should ensure no adverse impacts upon the environment.</p> <p>Given the proximity to the trunk road network and associated cumulative implications with other sites within Heathfield, consultation with Transport Scotland may be necessary to scope and agree any individual or cumulative assessment that may be required.</p> <p>The development should include sustainable design solutions and incorporate carbon reducing technologies, where feasible.</p>	

**South Ayrshire Council**

Site Plan



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# Redevelopment Opportunities

Site Details	
Site Reference	RO12
Settlement	Ayr
Site Address	Somerset Road
Site Area	0.9 hectares
OS Grid Reference	NS345228
Planning Details	
Local Development Plan Policies	Business and Industrial Opportunities, Development Opportunities
Preferred Uses	General Industry
Further Details	
The site is located adjacent to a railway line, close to an established industrial area.	
Environmental Recommendations	
<p>Consultation with the Council's Roads Service and Environmental Health Services, at planning application stage, should ensure no unacceptable adverse impact on the local road network, or unacceptable levels of air or noise pollution resulting from the development.</p> <p>The development should include sustainable design solutions and incorporate carbon reducing technologies, where feasible.</p>	



Site Plan



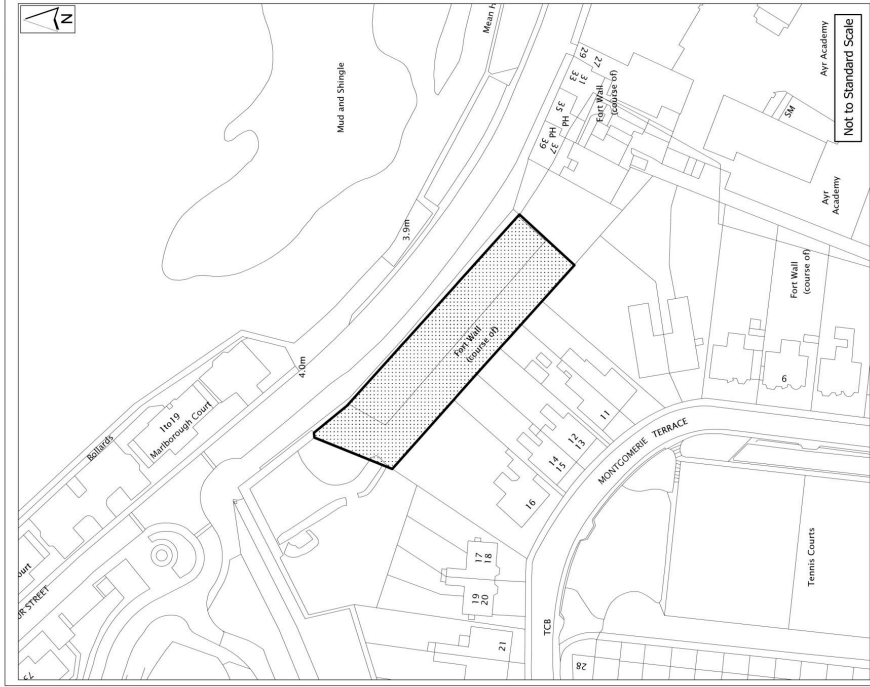
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# Redevelopment Opportunities

Site Details	
Site Reference	RO13
Settlement	Ayr
Site Address	South Harbour Street
Site Area	0.18 hectares
OS Grid Reference	NS334222
Planning Details	
Local Development Plan Policies	Residential Policy Within Settlements, Release Sites and Windfall Sites, Development Opportunities
Preferred Uses	Hotel, Leisure, Residential
Further Details	
The site is located within close proximity of Ayr town centre and close to the seafront. It overlooks the River Ayr.	
Environmental Recommendations	
<p>Consultation with WoSAS should be undertaken at planning application stage. Any development should occur in accordance with any guidance given by WoSAS.</p> <p>Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible.</p>	

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# Redevelopment Opportunities

## Site Details

Site Reference	RO14
Settlement	Ayr
Site Address	Whitfield Drive (North)
Site Area	0.36 hectares
OS Grid Reference	NS358233

## Planning Details

Local Development Plan Policies	Heathfield, Development Opportunities
Preferred Uses	General Industry, workshop, small scale/ancillary office, business use, storage and distribution use

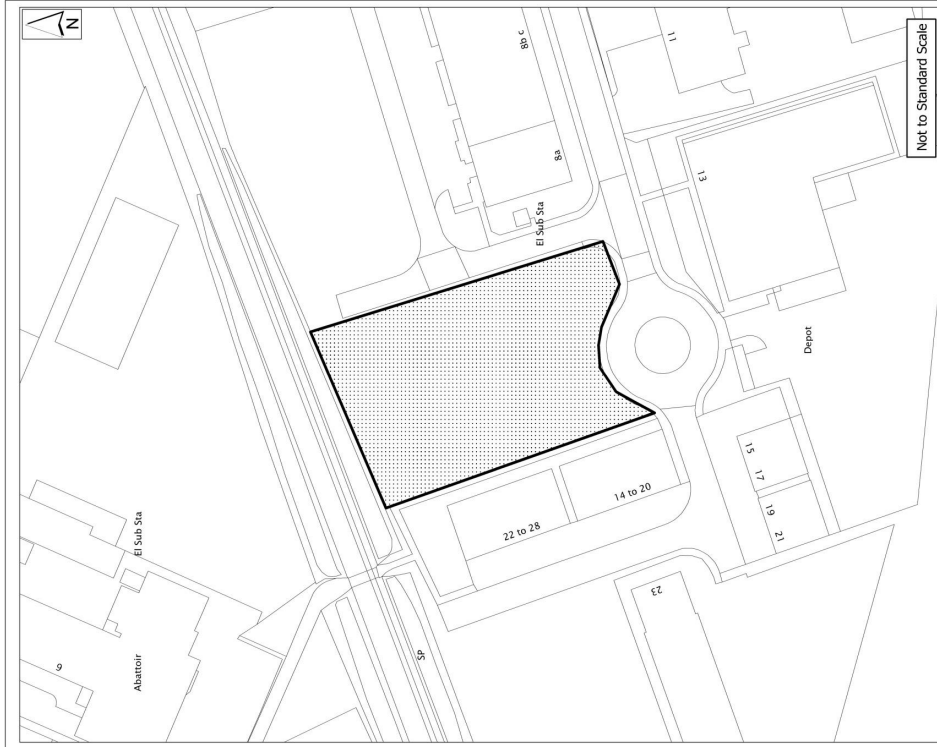
## Further Details

The site is located within an established industrial estate and benefits from good links to the A77 (T) and beyond. The majority of this site is located within SEPA's Surface Water Flood Risk Map.

## Environmental Recommendations

The development should be accompanied by a transport assessment at planning application stage. Consultation with the Council's Environmental Health Service should be undertaken if the proposed use is likely to result in air pollution. Given the proximity to the trunk road network and associated cumulative implications with other sites within Heathfield, consultation with Transport Scotland may be necessary to scope and agree any individual or cumulative assessment that may be required. Consultation with SEPA is recommended prior to the submission of any development proposals for the site. Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible.

Site Plan



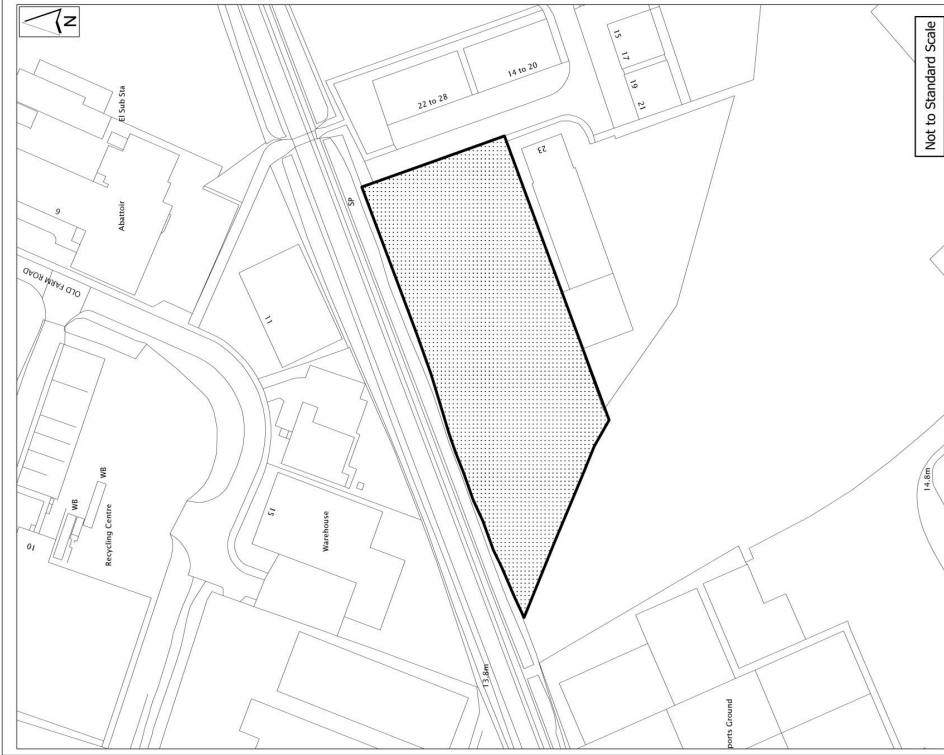
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# Redevelopment Opportunities

Site Details	
Site Reference	RO15
Settlement	Ayr
Site Address	Whitfield Drive (West)
Site Area	0.62 hectares
OS Grid Reference	NS357232
Planning Details	
Local Development Plan Policies	Heathfield, Development Opportunities
Preferred Uses	General Industry, workshop, small scale/ancillary office, business use, storage and distribution use
Further Details	
<p>The site is located within an established industrial estate and benefits from good links to the A77 (T) and beyond</p> <p>The site is fully within SEPA's Surface Water Flood Map.</p>	
Environmental Recommendations	
<p>The development should be accompanied by a transport assessment at planning application stage. Consultation with the Council's Environmental Health Service should be undertaken if the proposed use is likely to result in air pollution.</p> <p>Given the proximity to the trunk road network and associated cumulative implications with other sites within Heathfield, consultation with Transport Scotland may be necessary to scope and agree any individual or cumulative assessment that may be required.</p> <p>Consultation with SEPA is recommended prior to the submission of any development proposals for the site.</p> <p>Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible.</p>	



Site Plan



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## Redevelopment Opportunities

## Site Details

Site Reference	RO16
Settlement	Prestwick
Site Address	Whittleys Roundabout (North)
Site Area	2.0 hectares
OS Grid Reference	NS363234

## Planning Details

Local Development Plan Policies

Heathfield, Development Opportunities

Preferred Uses

Office, computer research and development, micro engineering, biotechnology, light industry and sale/display of motor vehicles, roadside facilities including hotels, restaurants and petrol filling stations.

## Further Details

Part of the site has a frontage and access onto Heathfield Road and it offers easy access to the A77 (T). The site is effectively split into two areas as a result of the development of a hotel, which has recently closed and which could potentially constrain the northern part of the site.

## Environmental Recommendations

The development should be accompanied by a transport assessment at planning application stage.  
Given the proximity to the trunk road network and associated cumulative implications with other sites within Heathfield, consultation with Transport Scotland may be necessary to scope and agree any individual or cumulative assessment that may be required.  
Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible.

Site Plan



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# Redevelopment Opportunities

Site Details	
Site Reference	RO17
Settlement	Girvan
Site Address	Former Nursery School
Site Area	0.7 hectares
OS Grid Reference	NS194976
Planning Details	
Local Development Plan Policies	Development Opportunities
Preferred Uses	Business, Garden Centre, Community Facilities
Further Details	
<p>The site is situated outwith the settlement boundary, in a semirural location. It is separated from the town by the adjacent railway line and benefits from good road access.</p> <p>A minor watercourse runs adjacent to the site.</p>	
Environmental Recommendations	
<p>The design solution of the site should take care to minimise its impact on the rural setting for Girvan, by incorporating appropriate building height and landscaping. The development should ensure appropriate pedestrian linkages exist between the site and settlement.</p> <p>Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible.</p>	



Site Plan



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# Redevelopment Opportunities

## Site Details

Site Reference	RO18
Settlement	Girvan
Site Address	Vicarton Street
Site Area	0.7 hectares
OS Grid Reference	NS194976

## Planning Details

Local Development Plan Policies	Development Opportunities
Preferred Uses	Business, industry, residential, retail, leisure and tourism

## Further Details

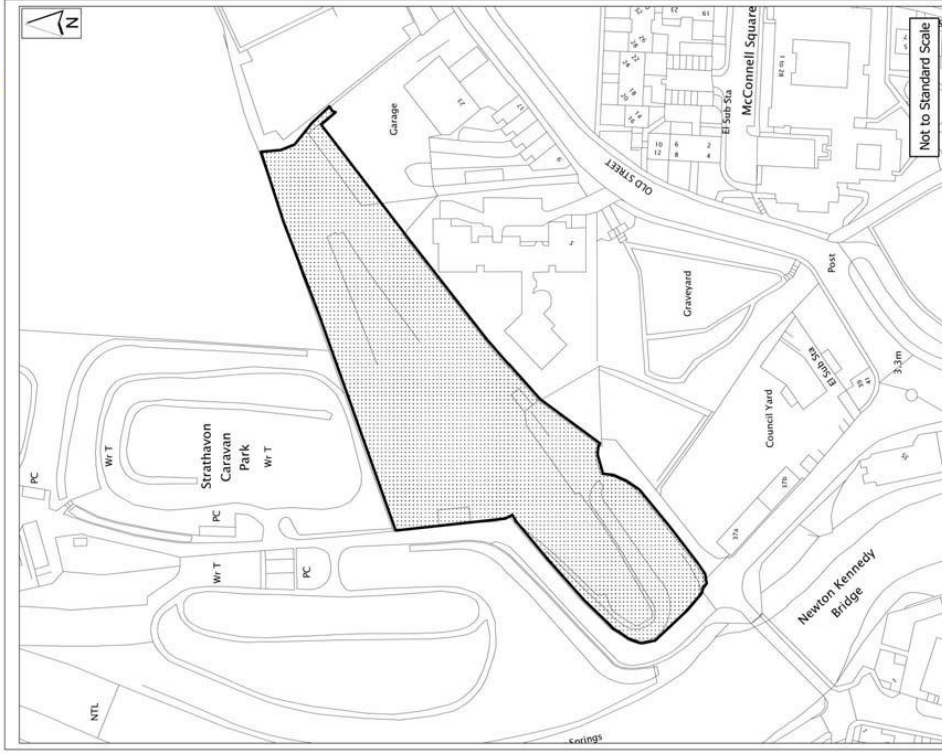
Close to the town centre on the main route through the town. The site has an open aspect across the golf course. The site is adjacent to areas identified as being at risk from fluvial and coastal flooding.

## Environmental Recommendations

Any proposals for the development of this site should be accompanied by a flood risk assessment. LDP policy: flooding and development will be relevant in the assessment of any development proposals. Consultation should be undertaken with WoSAS at planning application stage. Any development should preserve and enhance the character, appearance and setting of the adjacent listed building. Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible.



Site Plan



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## Redevelopment Opportunities

Site Details	
Site Reference	RO19
Settlement	Girvan
Site Address	Vicarton Street
Site Area	0.7 Hectares
OS Grid Reference	NS194976
Planning Details	
Local Development Plan Policies	Development Opportunities
Preferred Uses	Business, industry, residential, retail, leisure and tourism
Further Details	
<p>Close to the town centre on the main route through the town. The site has an open aspect across the golf course. The site is partly within fluvial and coastal flood extents of SEPA Flood Maps.</p>	
Environmental Recommendations	
<p>Any development proposals for this site should be accompanied by a flood risk assessment. LDP policy: flooding and development will be relevant in the assessment of any development proposals for this site. Consultation should be undertaken with WoSAS at planning application stage. Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible. Consultation with the Council's road section should be undertaken at the planning application stage.</p>	

Site Plan

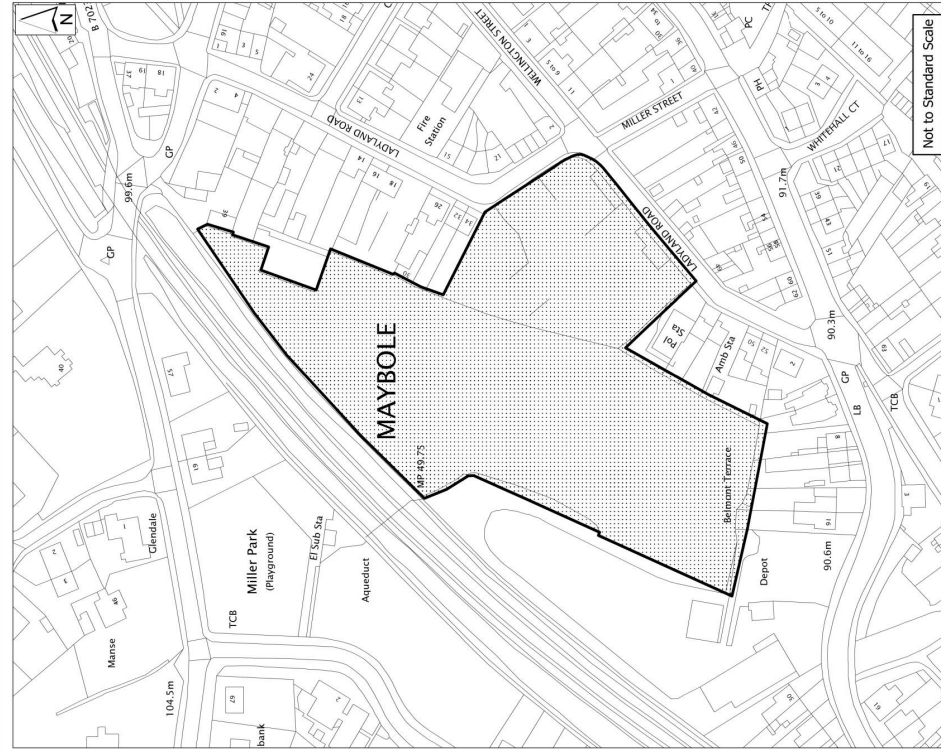


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# Redevelopment Opportunities



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## Site Details

Site Reference	RO20
Settlement	Maybole
Site Address	Ladyland Road
Site Area	1.79 hectares
OS Grid Reference	NS297098

## Planning Details

Local Development Plan Policies	General Retail, Local Centres and Small Settlement Town Centres, Development Opportunities
Preferred Uses	General Retail residential, leisure, office

## Further Details

The site is centrally located within Maybole with the railway line forming its northern boundary, residential properties to the east and south, and light industry/ storage and distribution uses to the west.  
A minor watercourse runs through this site.

## Environmental Recommendations

Any proposals for the development of this site must take full account of any transport assessments (including cumulative ones) undertaken in respect of housing allocation sites MAYB1, MAYB2, MAYB3 and MAYB4 and any associated mitigation measures that may be required. Transport Scotland is a statutory consultee on this site and it is recommended that consultation is undertaken prior to the submission of any planning application.  
The development site should contain appropriate pedestrian access links, where residential is proposed.  
Any development should preserve and enhance the character, appearance and setting of the adjacent listed buildings and the conservation area.

## Redevelopment Opportunities

<b>Site Details</b>	<p>Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible.</p> <p>Potential flooding issues relating to the watercourse running through the site should be fully assessed. The Ladywell Burn runs through the site, which is in culvert for part of the way. Proposals to open up the culvert and restore the burn to its natural state will be supported, in principle.</p>
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# Redevelopment Opportunities

## Site Details

Site Reference	RO21
Settlement	Maybole
Site Address	Redbrae
Site Area	0.37 hectares
OS Grid Reference	NS306104

## Planning Details

Local Development Plan Policies  
 Business and Industrial Opportunities, Development Opportunities

Preferred Uses  
 Light Industry

## Further Details

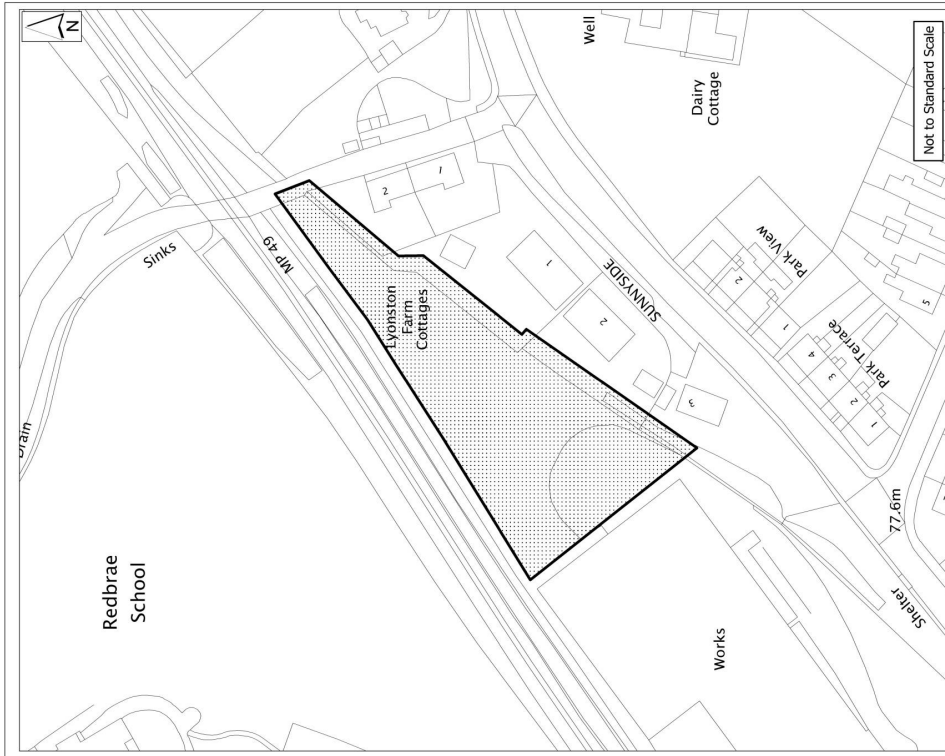
The site is located within close proximity of the railway station and Maybole town centre.  
 Potential culverted watercourse runs along the site boundary.

## Environmental Recommendations

Any proposals for the development of this site must take full account of any transport assessments (including cumulative ones) undertaken in respect of housing allocation sites MAYB1, MAYB2, MAYB3 and MAYB4 and any associated mitigation measures that may be required. Transport Scotland is a statutory consultee on this site and it is recommended that consultation is undertaken prior to the submission of any planning application.  
 SEPA should be consulted prior to the submission of any planning application to address issues relating to the culverted watercourse.  
 Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible. The Council's Environmental Health Service should be consulted at planning application stage to determine any required mitigation of noise impact on neighbouring properties.



Site Plan



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Not to Standard Scale



# Redevelopment Opportunities

Site Details	
Site Reference	RO22
Settlement	Tarbolton
Site Address	Ayr Road
Site Area	1.49 hectares
OS Grid Reference	NS431268
Planning Details	
Local Development Plan Policies	Business and Industrial Opportunities, Development Opportunities
Preferred Uses	Light Industry
Further Details	
<p>The site is located on the southwestern edge of the Tarbolton settlement boundary. A minor watercourse runs along the site boundary.</p>	
Environmental Recommendation	
<p>Separate system of drainage required for the development. Development Impact Assessment will be required. Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible. Potential flooding issues associated with the nearby watercourse should be assessed prior to the submission of any development proposals for this site.</p>	



Site Plan



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# Redevelopment Opportunities

## Site Details

Site Reference	RO23
Settlement	Troon
Site Address	Dukes Road (South)
Site Area	0.1 hectares
OS Grid Reference	NS319311

## Planning Details

Local Development Plan Policies	Business and Industrial Opportunities Development Opportunities
Preferred Uses	Light Industry

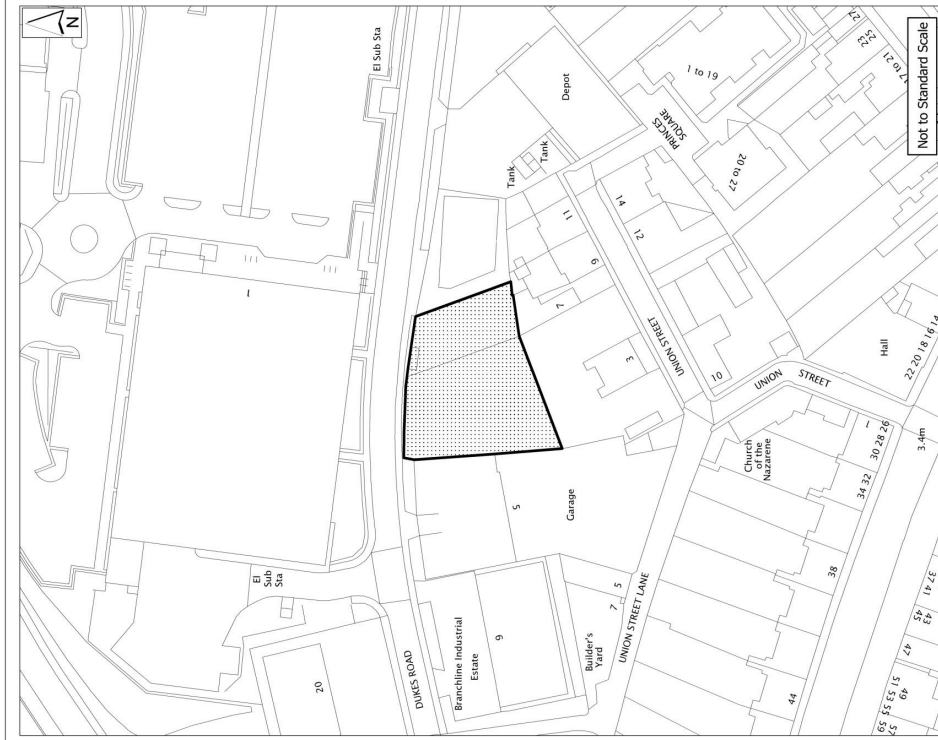
## Further Details

The site is a vacant plot within an established industrial estate. It is adjacent to and easily accessed from Troon town centre. The site is located partly within a coastal flood risk area.

## Environmental Recommendations

Any development proposals for this site must demonstrate that flood risk has been taken into consideration. Consultation with SEPA is recommended prior to the submission of any application for development. LDP policy: flooding and development will be relevant in the assessment of any development proposals. Consultation should be undertaken with WoSAS at planning application stage. Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible.

Site Plan



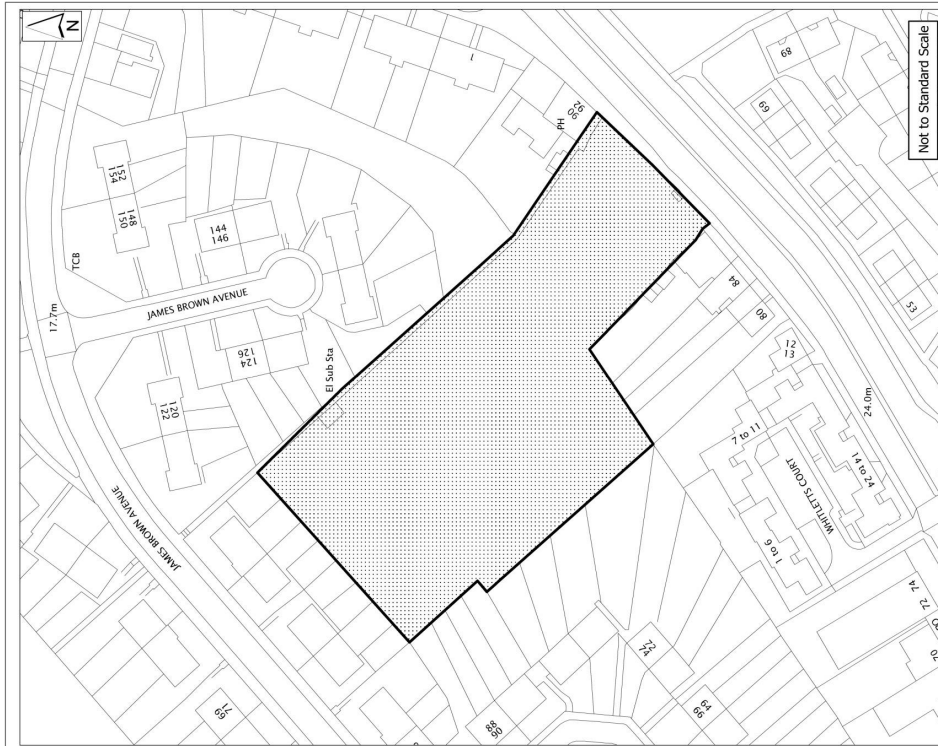
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# Redevelopment Opportunities

Site Details	
Site Reference	RO24
Settlement	Ayr
Site Address	Whitletts Road
Site Area	0.7 hectares
OS Grid Reference	NS361230
Planning Details	
Local Development Plan Policies	Business and Industrial Opportunities Development Opportunities
Preferred Uses	Community facility, residential
Further Details	
This is a cleared site which is located on one of the main arterial routes into Ayr Town Centre from the A77.	
Environmental Recommendations	
Any development should incorporate sustainable design solutions and carbon reducing technologies, where possible.	



Site Plan



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**Place Directorate**  
Planning and Building Standards  
County Buildings  
Wellington Square  
Ayr  
KA7 1DR

Tel: 0300 123 0900

Email: [planning.development@south-ayrshire.gov.uk](mailto:planning.development@south-ayrshire.gov.uk)

[www.south-ayrshire.gov.uk/planning](http://www.south-ayrshire.gov.uk/planning)